

SUBMIT: COMPLETED APPLICATION, TAX STATEMENT AND FEE TO:
Bayfield County
Planning and Zoning Depart.
PO Box 58
Washburn, WI 54891
(715) 373-6138

APPLICATION FOR PERMIT
BAYFIELD COUNTY, WISCONSIN



Permit #:	22-0296
Date:	10-28-22
Amount Paid:	75-10-28-22
Other:	Imp Surf 100 dek
Refund:	

INSTRUCTIONS: No permits will be issued until all fees are paid.
Checks are made payable to: Bayfield County Zoning Department.

DO NOT START CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN ISSUED TO APPLICANT.

Original Application MUST be submitted

FILL OUT IN INK (NO PENCIL)

TYPE OF PERMIT REQUESTED → <input type="checkbox"/> LAND USE <input type="checkbox"/> SANITARY <input type="checkbox"/> PRIVY <input type="checkbox"/> CONDITIONAL USE <input type="checkbox"/> SPECIAL USE <input type="checkbox"/> B.O.A. <input type="checkbox"/> OTHER		
Owner's Name: Bridget Byrnes	Mailing Address: 3829 Warren St City/State/Zip: Cottage Grove, WI	Telephone: Cell Phone: (608) 444-6845
Address of Property: 41330 White Bass Lake Rd City/State/Zip: Clam Lake, WI 54517		
Email: (print clearly) bbyrnes4212@hotmail.com		
Contractor: Jeff Pankeatz	Contractor Phone: 715-492-3255	Plumber: Plumber Phone:
Authorized Agent: (Person Signing Application on behalf of Owner(s))	Agent Phone: 	Agent Mailing Address (include City/State/Zip): Written Authorization Required (for Agent)
PROJECT LOCATION 1/4, 1/4	Legal Description: (Use Tax Statement) Gov't Lot 6 Lot(s) CSM Vol & Page CSM Doc # Lot(s) # Block #	Tax ID# 24127
Recorded Document: (Showing Ownership) 2021R 588355		
Section 25, Township 43 N, Range 05 W		Town of: Namakagon
Lot Size		Acreage 3.6

<input checked="" type="checkbox"/> Shoreland	<input type="checkbox"/> Is Property/Land within 300 feet of River, Stream (incl. Intermittent) Creek or Landward side of Floodplain? If yes---continue →	Distance Structure is from Shoreline : _____ feet	Is your Property in Floodplain Zone? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are Wetlands Present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	<input checked="" type="checkbox"/> Is Property/Land within 1000 feet of Lake, Pond or Flowage If yes---continue →	Distance Structure is from Shoreline : 62 feet		
<input type="checkbox"/> Non-Shoreland				

Value at Time of Completion * include donated time & material	Project	Project # of Stories	Project Foundation	Total # of bedrooms on property	What Type of Sewer/Sanitary System(s) Is on the property or Will be on the property?	Type of Water on property
\$5,000 Deck	<input type="checkbox"/> New Construction	<input type="checkbox"/> 1-Story	<input type="checkbox"/> Basement	<input type="checkbox"/> 1	<input type="checkbox"/> Municipal/City	<input type="checkbox"/> City
	<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> 1-Story + Loft	<input type="checkbox"/> Foundation	<input type="checkbox"/> 2	<input type="checkbox"/> (New) Sanitary Specify Type: _____	<input checked="" type="checkbox"/> Well
	<input type="checkbox"/> Conversion	<input type="checkbox"/> 2-Story	<input type="checkbox"/> Slab	<input checked="" type="checkbox"/> Incubator	<input type="checkbox"/> Sanitary (Exists) Specify Type: septic	<input type="checkbox"/>
	<input type="checkbox"/> Relocate (existing bldg)	<input type="checkbox"/>	<input checked="" type="checkbox"/> WOOD	<input type="checkbox"/>	<input type="checkbox"/> Privy (Pit) or <input type="checkbox"/> Vaulted (min 200 gallon)	<input type="checkbox"/>
	<input type="checkbox"/> Run a Business on Property	<input type="checkbox"/>	<input type="checkbox"/> Use	<input type="checkbox"/> None	<input type="checkbox"/> Portable (w/service contract)	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> Year Round	<input type="checkbox"/>	<input type="checkbox"/> Compost Toilet	<input type="checkbox"/>
			<input checked="" type="checkbox"/> Seasonal	<input type="checkbox"/> None		

Existing Structure: (if addition, alteration or business is being applied for)	Length: 22'	Width: 8'	Height: N/A
Proposed Construction: (overall dimensions)	Length: 22'	Width: 8'	Height: N/A

Proposed Use	✓	Proposed Structure	Dimensions	Square Footage
<input checked="" type="checkbox"/> Residential Use	<input type="checkbox"/>	Principal Structure (first structure on property)	(X)	
	<input type="checkbox"/>	Residence (i.e. cabin, hunting shack, etc.)	(X)	
		with Loft	(X)	
		with a Porch	(X)	
		with (2nd) Porch	(X)	
		with a Deck	(X)	
<input type="checkbox"/> Commercial Use		with (2nd) Deck	(X)	
		with Attached Garage	(X)	
	<input type="checkbox"/>	Bunkhouse w/ (<input type="checkbox"/> sanitary, or <input type="checkbox"/> sleeping quarters, or <input type="checkbox"/> cooking & food prep facilities)	(X)	
	<input type="checkbox"/>	Mobile Home (manufactured date) _____	(X)	
<input type="checkbox"/> Municipal Use	<input checked="" type="checkbox"/>	Addition/Alteration (explain) remove & replace deck	(22 X 8)	176
	<input type="checkbox"/>	Accessory Building (explain) _____	(X)	
	<input type="checkbox"/>	Accessory Building Addition/Alteration (explain) _____	(X)	
	<input type="checkbox"/>	Special Use: (explain) _____	(X)	
	<input type="checkbox"/>	Conditional Use: (explain) _____	(X)	
	<input type="checkbox"/>	Other: (explain) _____	(X)	

FAILURE TO OBTAIN A PERMIT or STARTING CONSTRUCTION WITHOUT A PERMIT WILL RESULT IN PENALTIES

I (we) declare that this application (including any accompanying information) has been examined by me (us) and to the best of my (our) knowledge and belief it is true, correct and complete. I (we) acknowledge that I (we) am (are) responsible for the detail and accuracy of all information I (we) am (are) providing and that it will be relied upon by Bayfield County in determining whether to issue a permit. I (we) further accept liability which may be a result of Bayfield County relying on this information I (we) am (are) providing in or with this application. I (we) consent to county officials charged with administering county ordinances to have access to the above described property at any reasonable time for the purpose of inspection.

Owner(s): Bridget Byrnes
(If there are Multiple Owners listed on the Deed All Owners must sign or letter(s) of authorization must accompany this application)

Date: 10/3/22

Authorized Agent: _____ (See Note below)
(If you are signing on behalf of the owner(s) a letter of authorization must accompany this application)

Date: _____

Address to send permit: 3829 Warren St Cottage Grove, WI

Attach
Copy of Tax Statement

If you recently purchased the property send your Recorded Deed

53527

Turn Over

Deck

In the box below: **Draw or Sketch your Property** (regardless of what you are applying for)

- (1) Show Location of:

(2) Show / Indicate:

(3) Show Location of (*):

(4) Show:

(5) Show:

(6) Show any (*):

(7) Show any (*):
- Proposed Construction

North (N) on Plot Plan

(*) Driveway and (*) Frontage Road (Name Frontage Road)

All Existing Structures on your Property

(*) Well (W); (*) Septic Tank (ST); (*) Drain Field (DF); (*) Holding Tank (HT) and/or (*) Privy (P)

(*) Lake; (*) River; (*) Stream/Creek; or (*) Pond

(*) Wetlands; or (*) Slopes over 20%

Fill Out in Ink – NO PENCIL

see schedule A

Please complete (1) – (7) above (prior to continuing)

Changes in plans must be approved by the Planning & Zoning Dept.

(8) **Setbacks:** (measured to the closest point)

Description	Setback Measurements	Description	Setback Measurements
Setback from the Centerline of Platted Road	Feet	Setback from the Lake (ordinary high-water mark)	62 Feet
Setback from the Established Right-of-Way	Feet	Setback from the River, Stream, Creek	Feet
		Setback from the Bank or Bluff	Feet
Setback from the North Lot Line	160 Feet		
Setback from the South Lot Line	150 Feet	Setback from Wetland	90 Feet
Setback from the West Lot Line	1071 Feet	20% Slope Area on the property	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Setback from the East Lot Line	156 Feet	Elevation of Floodplain	Feet
Setback to Septic Tank or Holding Tank	50 Feet	Setback to Well	3 Feet
Setback to Drain Field	65 Feet		
Setback to Privy (Portable, Composting)	Feet		
Prior to the placement or construction of a structure within ten (10) feet of the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner or marked by a licensed surveyor at the owner's expense.			
Prior to the placement or construction of a structure more than ten (10) feet but less than thirty (30) feet from the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner, or verifiable by the Department by use of a corrected compass from a known corner within 500 feet of the proposed site of the structure, or must be marked by a licensed surveyor at the owner's expense.			

(9) **Stake or Mark Proposed Location(s)** of New Construction, Septic Tank (ST), Drain field (DF), Holding Tank (HT), Privy (P), and Well (W).

NOTICE(s): All Land Use Permits Expire One (1) Year from the Date of Issuance if Construction or Use has not begun.
For the Construction of New One & Two Family Dwelling: ALL Municipalities Are Required To Enforce The Uniform Dwelling Code.
The local Town, Village, City, State or Federal agencies may also require permits.

If subject property is part of a Condominium Plat, applicant hereby certifies and represents that applicant has all necessary approvals and recorded documents required to complete the project for which this permit is sought including requirements set forth in Wisconsin statutes pertaining to condominium associations, the Declaration of the Condominium Association in which the property is located, and all other rules, regulations and requirements pertaining to that Condominium Association.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

Issuance Information (County Use Only)		Sanitary Number: 192274	# of bedrooms: 3	Sanitary Date: 8/9/93	
Permit Denied (Date):		Reason for Denial:			
Permit #: 22-0296		Permit Date: 10-28-2022			
Is Parcel a Sub-Standard Lot	<input type="checkbox"/> Yes (Deed of Record) <input checked="" type="checkbox"/> No	Mitigation Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Parcel in Common Ownership	<input checked="" type="checkbox"/> Yes (Fused/Contiguous Lot(s)) <input type="checkbox"/> No	Mitigation Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Structure Non-Conforming	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
Granted by Variance (B.O.A.)		Previously Granted by Variance (B.O.A.)			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:			
Was Parcel Legally Created	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Were Property Lines Represented by Owner	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Was Property Surveyed	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Was Proposed Building Site Delineated	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Existing				
Inspection Record: Existing patio to be replaced.			Zoning District (R-1) Lakes Classification (2)		
Date of Inspection: 10/18/22		Inspected by: MS		Date of Re-Inspection:	
Condition(s): Town, Committee or Board Conditions Attached? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – (If No they need to be attached.) To meet all setbacks. To be replaced within existing footprint. Town/ state/ DNR permits may be required.					
Signature of Inspector: [Signature]				Date of Approval: 10/19/22	
Hold For Sanitary: <input type="checkbox"/>		Hold For TBA: <input type="checkbox"/>		Hold For Affidavit: <input type="checkbox"/>	
Hold For Fees: <input type="checkbox"/>		<input type="checkbox"/>			

Schedule A

White Bass Rd
Clam Lake WI

Dirt driveway

mainfield
septic
cabin
- patio
well
patio

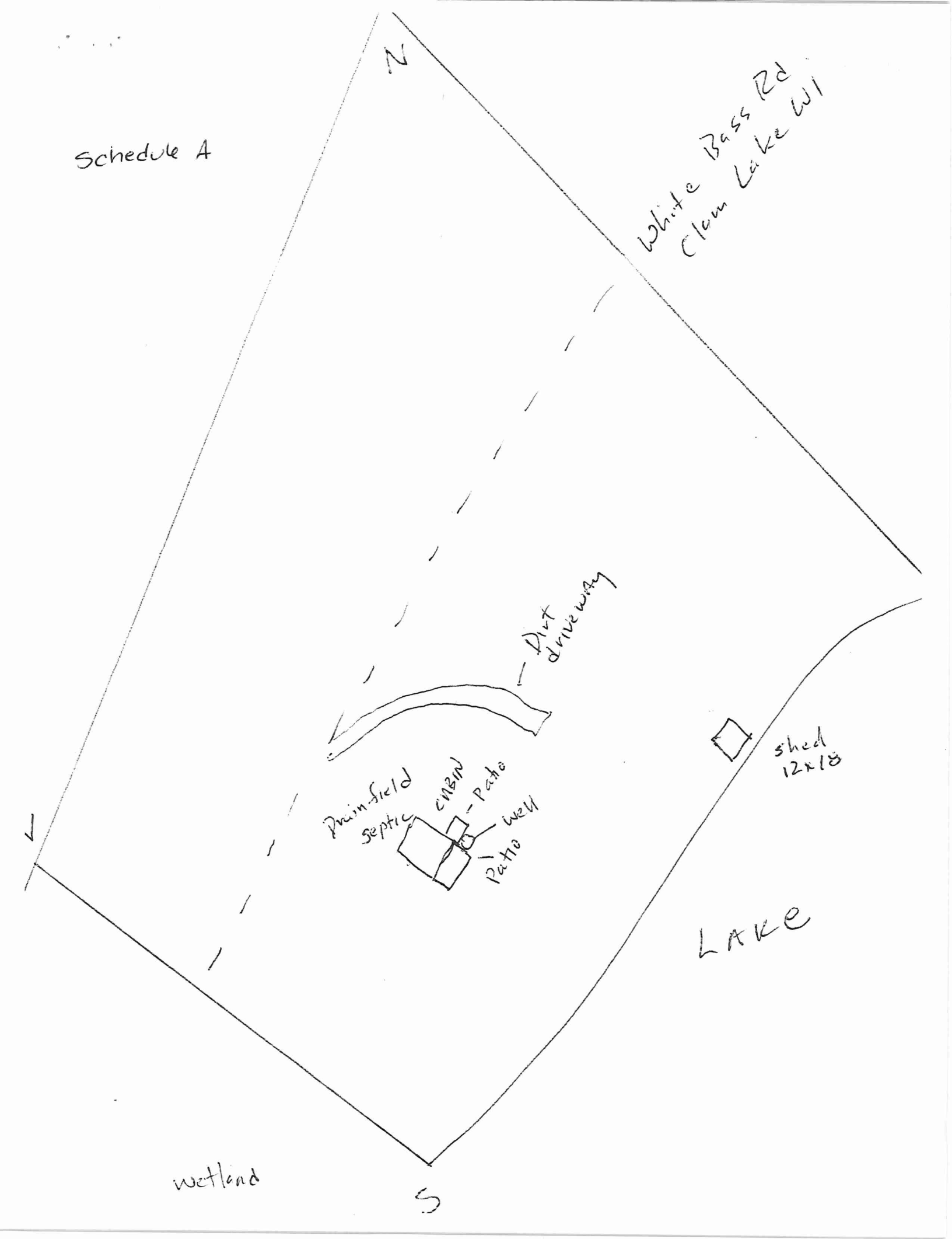
shed
12x18

LAKE

wetland

N

S



Schedule A

White Bass Rd
Clam Lake WI

N

Dirt driveway

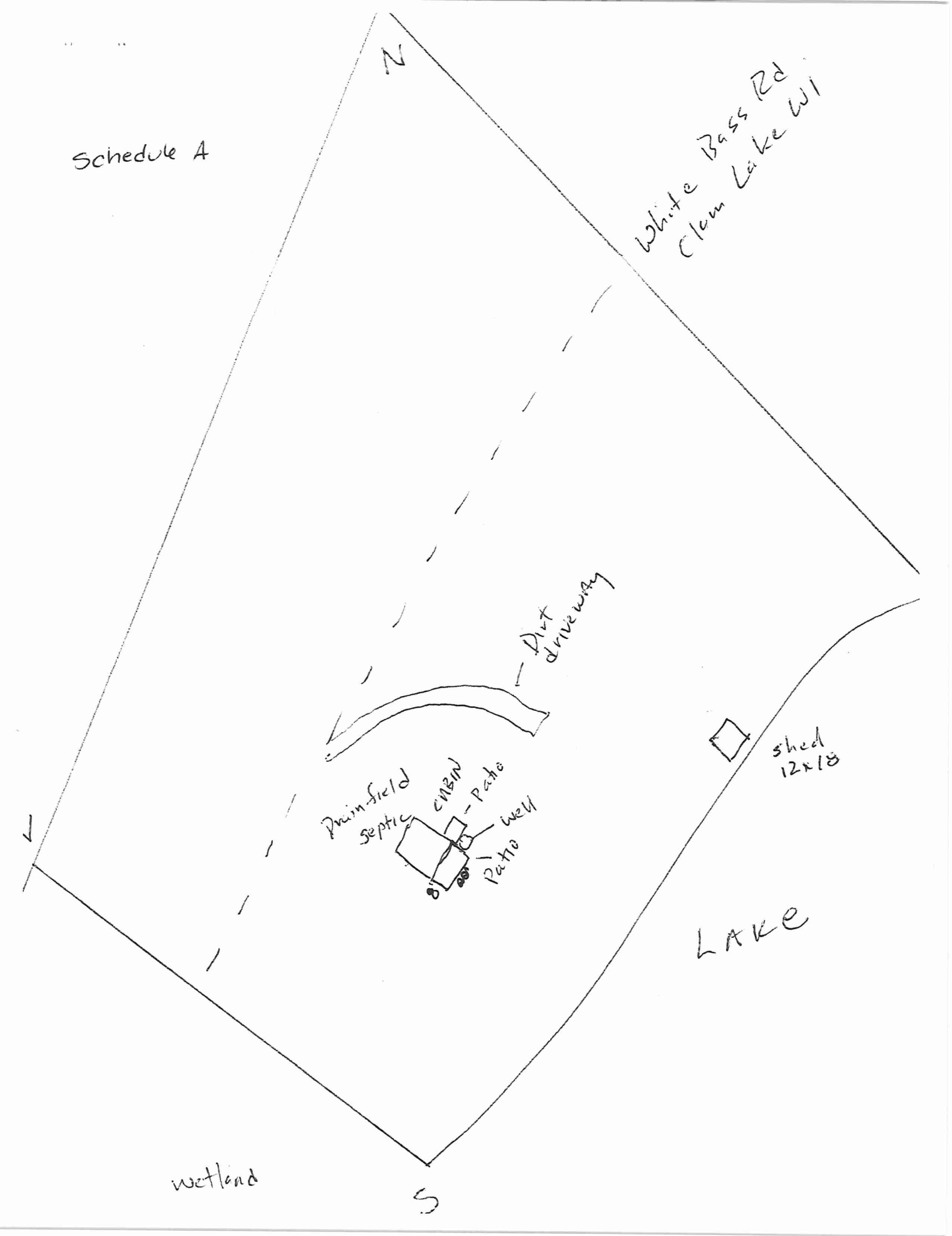
Prin-field
septic
cabin
- patio
well
patio

shed
12x18

LAKE

wetland

S



Bayfield County
Impervious Surface Calculations

\$100

RECEIVED

OCT 07 2022

Bayfield Co.
Planning and Zoning Agency

These calculations are **REQUIRED** per WI Admin Code NR 115.05(1)(e) and Section 13-1-32(g) and 13-1-40(h) of the Bayfield County Code of Ordinances. The undersigned hereby makes application for construction, reconstruction, expansion, replacement or relocation of any impervious surface within 300 feet of the ordinary high-water mark and agrees that all activities shall be in accordance with the requirements of the Bayfield County Code of Ordinances and all other applicable ordinances and the laws of the State of Wisconsin.

Pursuant to Chapter 1, Title 13, Section 13-1-106(d) of the Bayfield County Zoning Ordinance(s), Planning and Zoning Department employees assigned to inspect properties shall have access to said properties to make inspections.

Owner / Applicant	
Owner's Name	Bridget Byrnes
Site Address	41330 White Bass Lake Rd
City / State Zip	Clam Lake, WI 54517
Mailing Address	3829 Warren St
City / State / Zip	Cottage Grove WI 53527
Phone(s)	() Cell (608) 444-6845
Email Address	bbyrnes 4212@hotmail-com

Accurate Legal Description involved in this request (specify <u>only</u> the property involved with this application)									
PROJECT LOCATION	Legal Description: (Use Tax Statement)		Tax ID #: 24127		Lot Size	Acreage 3.6	Zoning District	Lakes Class	
		¼	¼	Section 25	Township 43	Range 05	Town of Namakagon		
Gov't Lot	Lot #	CSM #	Doc #	Vol Page		Lot#	Blk #	Subdivision	

Impervious Surface: An area that releases as runoff all or a majority of the precipitation that falls on it. "Impervious surface" excludes frozen soil but includes rooftops, sidewalks, driveways, parking lots and streets unless specifically designed, constructed, and maintained to be pervious. Impervious surface standards shall apply to the construction, reconstruction, expansion, replacement or relocation of any impervious surface that is or will be located within 300 feet of the ordinary high-water mark of any navigable waterway on any riparian lot or parcel. Nonriparian lot or parcel that is located entirely within 300 feet of the ordinary high-water mark of any navigable waterway.

Calculation of Impervious Surface: Percentage of impervious surface shall be calculated by dividing the surface area of the existing and proposed impervious surfaces on the lot or parcel by the total surface area of that lot or parcel and multiplying by 100. If an outlot lies between the ordinary high-water mark and the developable lot or parcel described in subd. 1. and both are in common ownership, the lot or parcel and the outlot shall be considered one lot or parcel for the purposes of calculating the percentage of impervious surfaces.

Impervious Surface Standard: Allow up to 15% impervious surface but not more than 30% impervious surface on the portion of a lot or parcel that is within 300 feet of the ordinary high-water mark. A permit can be issued for development that exceeds 15% impervious surface but not more than 30% impervious surfaces with a mitigation plan that meets the requirements of the Bayfield County Ordinance(s).

Existing Impervious Surfaces: For existing impervious surfaces that were lawfully placed when constructed but that do not comply with the standards in Section(s) 13-1-32(g) and Section 13-1-40(h), the property owner may do any of the following:

- a. Maintenance and repair all impervious surfaces:
- b. Replace existing impervious surfaces with similar surfaces within the existing building footprint.
- c. Relocate or modify existing impervious surfaces with similar or different impervious surfaces, provided that the relocation or modification does not result in an increase in the percentage that existed on the effective date of the county shoreland ordinance and meets the applicable setback requirements in Section 13-1-32.

RECEIVED

Impervious Surface(s)

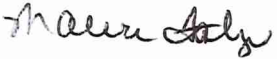
Impervious Surface Item	Dimension(s)	Square Footage
Existing House (1) section 24 x 32 + 18 x 20		1128
Existing Garage		
Existing Porch / Covered Porch		
Existing Porch #2 / Covered Porch #2		
Existing Deck 22 x 8 / 8 x 8 / 4 x 4		256
Existing Deck #2		
Existing Sidewalk(s), Patio(s)		
Existing Storage Bldg		
Existing Shed	12 x 16	192
Existing Accy: (explain) _____		
Existing Carport		
Existing Boathouse		
Existing Driveway		
Existing Road (Name) _____		
Existing Other (explain) _____		
Existing Other (explain) _____		
Proposed House		
Proposed Garage		
Proposed Addition (explain) _____		
Proposed Addition (explain) _____		
Proposed Porch / Covered Porch		
Proposed Porch #2 / Covered Porch #2		
Proposed Deck #1	22 x 8	176
Proposed Deck #2	8 x 8	64
Proposed Balcony		
Proposed Sidewalk(s), Patio(s)		
Proposed Storage Bldg		
Proposed Shed	12 x 16	192
Proposed Carport		
Proposed Accy: (explain) _____		
Proposed Boathouse		
Proposed Driveway		
Proposed Road (Name) _____		
Proposed Other (explain) _____		
Proposed Other (explain) _____		
Total:		

- a. Total square footage of lot: 156,816
- b. Total impervious surface area: 1,576
- c. Percentage of impervious surface area: $100 \times (b)/a =$ 1.00

Total square footage of additional impervious surface allowed: @ 15% _____ @ 30% _____

issuance Information (County Use Only)	Date of Inspection: <u>10/18/22</u>
Inspection Record: <u>Existing 22 x 8.</u>	Zoning District (<u>R-1</u>) Lakes Classification (<u>2</u>)
Condition(s): <u>To replace in existing footprint.</u>	Stormwater Management Plan Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Signature of Inspector: <u>[Signature]</u>	Date of Approval: <u>10/19/22</u>

To: Bayfield County Planning and Zoning Department

From: Maura Fabrizi 

Re: 41330 White Bass Lake Road permit authorization

Date: August 25, 2022

As a co-owner of this property, I grant permission /authorization to apply for a permit for a deck on this property.

I may be contacted at 561-312-6461

mmmmf@yahoo.com

To: Bayfield County Planning and Zoning Department

From: Timothy A. Byrnes

Re: 41330 White Bass Lake Road permit authorization

Date: August 25, 2022

As a co-owner of this property, I grant permission /authorization to apply for a permit for a deck on this property.

I may be contacted at 425-387-2529

timbyrnes713@yahoo.com

Tim Byrnes 8/31/22

Public Access Real Estate

Search

Tax ID: Alt./Legacy ID:

PIN: - - - - - - - - - -

Owner Name: First: Bridget Last/Org.: Byrnes

Site Address: #: Road:

Current Property

Tax ID: 24127

BRIDGET A BYRNES

3829 WARREN ST

COTTAGE GROVE WI 53527

Search Results - Records Found:

PIN: 04-034-2-43-05-25-3 05-006-10000

Tax ID: 24127 0.000 Ac. S25-T43N-R05W GOVT LOT 6

Owners: BRIDGET A BYRNES
3829 WARREN ST
COTTAGE GROVE WI 53527

TIMOTHY A BYRNES
10530 MARINE VIEW DR
MUKILTEO WA 98275

MAURA FABRIZI
176 AMISTAD DR
ST AUGUSTINE FL 32086

Site: 41330 WHITE BASS LAKE RD

Real Estate Bayfield County Property Listing

Today's Date: 10/3/2022

Description Updated: 7/22/2022

Tax ID: 24127

PIN: 04-034-2-43-05-25-3 05-006-10000

Legacy PIN: 034102107000

Map ID:

Municipality: (034) TOWN OF NAMAKAGON

STR: S25 T43N R05W

Description: 2 PAR IN GOVT LOT 6 IN DOC 2021R-588355 159

Recorded Acres: 0.000

Calculated Acres: 31.906

Lottery Claims: 0

First Dollar: Yes

Zoning: (F-1) Forestry-1

ESN: 123

Tax Districts Updated: 3/15/2006

L STATE

04 COUNTY

034 TOWN OF NAMAKAGON

041491 SCHL-DRUMMOND

001700 TECHNICAL COLLEGE

Recorded Documents Updated: 3/15/2006

3 TRUSTEES DEED

Date Recorded: 4/28/2021 2021R-588355

3 CONVERSION

Date Recorded: 485310 528-312;717-30;870-93

3 QUIT CLAIM DEED

Date Recorded: 9/3/2003 2003R-485310

Ownership

BRIDGET A BYRNES

TIMOTHY A BYRNES

MAURA FABRIZI

Billing Address:

BRIDGET A BYRNES E

3829 WARREN ST

COTTAGE GROVE WI 53

Site Address * in

41330 WHITE BASS LAK

Property Assessment

2022 Assessment Det

Code

G1-RESIDENTIAL

G5-UNDEVELOPED

G6-PRODUCTIVE FOREST

2-Year Comparison

Land:

Improved:

Total:

Property History

N/A

System Explorer

Bayfield County Public Access

10/3/2022

Real Estate

Personal Property

Link To Treasurer Page

To Pay 2nd half or Past Year taxes only by Credit Card, Echeck, or Debit Card to the Bayfield County Treasurer use this link.

Pay Bayfield County Treasurer By Credit Card

For Credit Card or Echeck payments to the following municipalities use the municipality link below.

December and January

Town Of Barnes

Town Of Bayfield

City Of Bayfield

City Of Washburn

Jurisdiction

#a0014e

Public Access

Real Estate

Search

Tax ID:

Alt./Legacy ID:

PIN: - - - - - - - - -

Owner Name: First:

Bridget

 Last/Org.:

Byrnes

Site Address: #: Road:

Current Property

Tax ID: 24127

BRIDGET A BYRNES

3829 WARREN ST

COTTAGE GROVE WI 53527

Search Results - Records Found:

PIN: 04-034-2-43-05-25-3 05-006-10000

Tax ID: 24127 0.000 Ac. S25-T43N-R05W GOVT LOT 6

Owners:

BRIDGET A BYRNES
3829 WARREN ST
COTTAGE GROVE WI 53527

TIMOTHY A BYRNES
10530 MARINE VIEW DR
MUKILTEO WA 98275

MAURA FABRIZI
176 AMISTAD DR
ST AUGUSTINE FL 32086

Site: 41330 WHITE BASS LAKE RD

Real Estate Bayfield County Property Listing

Today's Date: 10/3/2022

Description

Updated: 7/22/2022

Tax ID: 24127

PIN: 04-034-2-43-05-25-3 05-006-10000

Legacy PIN: 034102107000

Map ID:

Municipality: (034) TOWN OF NAMAKAGON

STR: S25 T43N R05W

Description: 2 PAR IN GOVT LOT 6 IN DOC 2021R-588355 159

Recorded Acres: 0.000

Calculated Acres: 31.906

Lottery Claims: 0

First Dollar: Yes

Zoning: (F-1) Forestry-1

ESN: 123

Tax Districts

Updated: 3/15/2006

L

STATE

4

COUNTY

34

TOWN OF NAMAKAGON

41491

SCHL-DRUMMOND

01700

TECHNICAL COLLEGE

Recorded Documents

Updated: 3/15/2006

TRUSTEES DEED

Date Recorded: 4/28/2021 2021R-588355

CONVERSION

Date Recorded: 485310 528-312;717-30;870-93

QUIT CLAIM DEED

Date Recorded: 9/3/2003 2003R-485310

Ownership

BRIDGET A BYRNES

TIMOTHY A BYRNES

MAURA FABRIZI

Billing Address:

BRIDGET A BYRNES E
3829 WARREN ST
COTTAGE GROVE WI 53

Site Address * in

41330 WHITE BASS LAK

Property Assessment

2022 Assessment Det Code

G1-RESIDENTIAL

G5-UNDEVELOPED

G6-PRODUCTIVE FOREST

2-Year Comparison

Land:

Improved:

Total:

Property History

N/A

Progress:

Print

Town, City, Village, State or Federal
Permits May Also Be Required
**SHORELAND / WETLAND / FLOODPLAIN
IMPERVIOUS SURFACE CALCULATIONS**
LAND USE – **X**
SANITARY – **93-192274**
SIGN –
SPECIAL –
CONDITIONAL –
BOA –

BAYFIELD COUNTY

PERMIT

WEATHERIZE AND POST THIS PERMIT
ON THE PREMISES DURING CONSTRUCTION

No.22-0296Tax ID: 24127Issued To: Bridget Byrnes/Timothy Byrnes/Maura Fabrizi

Location:1⁄4 of1⁄4 Section 25Township 43 N. Range 5 W. Town of Namakagon

2 Parcels in

Gov't Lot	6	Lot		Block		Subdivision
-----------	---	-----	--	-------	--	-------------

In Doc 2021R-588355

Residential Structure in R-1 zoning district
For: Addition/Alteration: [1- Story]; Removal of Existing Deck and Replacing (22' x 8') = 176 sq. ft.]

(Disclaimer): Any future expansions or development would require additional permitting.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

Condition(s): Meet all setbacks. To be replaced within existing footprint. Town/State/DNR permits may be required.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

NOTE: This permit expires one year from date of issuance if the authorized construction work or land use has not begun.

Changes in plans or specifications shall not be made without obtaining approval. This permit may be void or revoked if any of the application information is found to have been misrepresented, erroneous, or incomplete.

This permit may be void or revoked if any performance conditions are not completed or if any prohibitory conditions are violated.

Mckenzie Slack, AZA

Authorized Issuing Official

October 28, 2022

Date

SUBMIT: COMPLETED APPLICATION, TAX STATEMENT AND FEE TO:
Bayfield County
Planning and Zoning Depart.
PO Box 58
Washburn, WI 54891
(715) 373-6138

APPLICATION FOR PERMIT
BAYFIELD COUNTY, WISCONSIN



Permit #:	22-0297
Date:	10-28-2022
Amount Paid:	75 10-28-22
Other:	
Refund:	

INSTRUCTIONS: No permits will be issued until all fees are paid.
Checks are made payable to: Bayfield County Zoning Department.

DO NOT START CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN ISSUED TO APPLICANT.

Original Application MUST be submitted

FILL OUT IN INK (NO PENCIL)

TYPE OF PERMIT REQUESTED		<input type="checkbox"/> LAND USE		<input type="checkbox"/> SANITARY		<input type="checkbox"/> PRIVY		<input type="checkbox"/> CONDITIONAL USE		<input type="checkbox"/> SPECIAL USE		<input type="checkbox"/> B.O.A.		<input type="checkbox"/> OTHER	
Owner's Name: Bridget Byrnes				Mailing Address: 3829 Warren Street				City/State/Zip: Cottage Grove, WI 53527				Telephone: 			
Address of Property: 41330 White Bass Lake Rd				City/State/Zip: Clam Lake, WI 54517				Cell Phone: (608) 444-6845				Plumber Phone: 			
Email: (print clearly) bbyrnes4212@hotmail.com				Contractor: Jeff Pankertz				Contractor Phone: 715-492-3255				Plumber: 			
Authorized Agent: (Person Signing Application on behalf of Owner(s))				Agent Phone: 				Agent Mailing Address (include City/State/Zip): 				Written Authorization Required (for Agent) 			
PROJECT LOCATION		Legal Description: (Use Tax Statement)		Tax ID# 24127		Recorded Document: (Showing Ownership) 2021 R - 588355									
1/4, 1/4		Gov't Lot 6		Lot(s)		CSM		Vol & Page		CSM Doc #		Lot(s) #		Block #	
Subdivision:															
Section 25		Township 43		N, Range 05		W		Town of: Nauyascon		Lot Size		Acreage 3.6			

<input checked="" type="checkbox"/> Shoreland	<input type="checkbox"/> Is Property/Land within 300 feet of River, Stream (incl. Intermittent) Creek or Landward side of Floodplain? If yes--continue →	Distance Structure is from Shoreline: _____ feet	Is your Property in Floodplain Zone? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Are Wetlands Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
	<input checked="" type="checkbox"/> Is Property/Land within 1000 feet of Lake, Pond or Flowage If yes--continue →	Distance Structure is from Shoreline: 3 feet		
<input type="checkbox"/> Non-Shoreland				

Value at Time of Completion * include donated time & material	Project	Project # of Stories	Project Foundation	Total # of bedrooms on property	What Type of Sewer/Sanitary System(s) Is on the property or Will be on the property?	Type of Water on property
\$ 20,000	<input type="checkbox"/> New Construction	<input type="checkbox"/> 1-Story	<input type="checkbox"/> Basement	<input type="checkbox"/> 1	<input type="checkbox"/> Municipal/City	<input type="checkbox"/> City
	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> 1-Story + Loft	<input type="checkbox"/> Foundation	<input type="checkbox"/> 2	<input type="checkbox"/> (New) Sanitary Specify Type: _____	<input checked="" type="checkbox"/> Well
	<input type="checkbox"/> Conversion	<input type="checkbox"/> 2-Story	<input type="checkbox"/> Slab	<input checked="" type="checkbox"/> 3	<input type="checkbox"/> Sanitary (Exists) Specify Type: septic	<input type="checkbox"/>
	<input type="checkbox"/> Relocate (existing bldg)	<input type="checkbox"/>	<input type="checkbox"/> gravel/wood	<input type="checkbox"/>	<input type="checkbox"/> Privy (Pit) or <input type="checkbox"/> Vaulted (min 200 gallon)	<input type="checkbox"/>
	<input type="checkbox"/> Run a Business on Property	<input type="checkbox"/>	<input type="checkbox"/> Use	<input type="checkbox"/> None	<input type="checkbox"/> Portable (w/service contract)	<input type="checkbox"/>
	<input checked="" type="checkbox"/> shed	1 story	<input type="checkbox"/> Seasonal	<input type="checkbox"/>	<input type="checkbox"/> Compost Toilet	<input type="checkbox"/>
					<input type="checkbox"/> None	

Existing Structure: (if addition, alteration or business is being applied for)	Length: 16	Width: 12	Height: 12
Proposed Construction: (overall dimensions)	Length: 16	Width: 12	Height: 12

Proposed Use	✓	Proposed Structure	Dimensions	Square Footage
<input checked="" type="checkbox"/> Residential Use	<input type="checkbox"/>	Principal Structure (first structure on property)	(X)	
	<input type="checkbox"/>	Residence (i.e. cabin, hunting shack, etc.)	(X)	
		with Loft	(X)	
		with a Porch	(X)	
		with (2nd) Porch	(X)	
		with a Deck	(X)	
<input type="checkbox"/> Commercial Use		with (2nd) Deck	(X)	
		with Attached Garage	(X)	
<input type="checkbox"/> Municipal Use	<input type="checkbox"/>	Bunkhouse w/ (<input type="checkbox"/> sanitary, or <input type="checkbox"/> sleeping quarters, or <input type="checkbox"/> cooking & food prep facilities)	(X)	
	<input type="checkbox"/>	Mobile Home (manufactured date) _____	(X)	
	<input checked="" type="checkbox"/>	Addition/Alteration (explain) remove/replace shed	(16 X 12)	192
	<input type="checkbox"/>	Accessory Building (explain) _____	(X)	
	<input type="checkbox"/>	Accessory Building Addition/Alteration (explain) _____	(X)	
	<input type="checkbox"/>	Special Use: (explain) _____	(X)	
	<input type="checkbox"/>	Conditional Use: (explain) _____	(X)	
	<input type="checkbox"/>	Other: (explain) _____	(X)	

FAILURE TO OBTAIN A PERMIT or STARTING CONSTRUCTION WITHOUT A PERMIT WILL RESULT IN PENALTIES

I (we) declare that this application (including any accompanying information) has been examined by me (us) and to the best of my (our) knowledge and belief it is true, correct and complete. I (we) acknowledge that I (we) am (are) responsible for the detail and accuracy of all information I (we) am (are) providing and that it will be relied upon by Bayfield County in determining whether to issue a permit. I (we) further accept liability which may be a result of Bayfield County relying on this information. I (we) am (are) providing in or with this application. I (we) consent to county officials charged with administering county ordinances to have access to the above described property at any reasonable time for the purpose of inspection.

Owner(s): Bridget Byrnes
(If there are Multiple Owners listed on the Deed All Owners must sign or letter(s) of authorization must accompany this application)

Date: 10/3/22

Authorized Agent: _____ (See Note below)
(If you are signing on behalf of the owner(s) a letter of authorization must accompany this application)

Date: _____

Address to send permit: 3829 Warren Street, Cottage Grove, WI 53527

Attach
Copy of Tax Statement

If you recently purchased the property send your Recorded Deed

Turn Over

In the box below: **Draw or Sketch your Property** (regardless of what you are applying for)

- (1) Show Location of:

Proposed Construction
- (2) Show / Indicate:

North (N) on Plot Plan
- (3) Show Location of (*):

(*) Driveway and (*) Frontage Road (Name Frontage Road)
- (4) Show:

All Existing Structures on your Property
- (5) Show:

(*) Well (W); (*) Septic Tank (ST); (*) Drain Field (DF); (*) Holding Tank (HT) and/or (*) Privy (P)
- (6) Show any (*):

(*) Lake; (*) River; (*) Stream/Creek; or (*) Pond
- (7) Show any (*):

(*) Wetlands; or (*) Slopes over 20%

Fill Out in Ink – NO PENCIL

see schedule A

Please complete (1) – (7) above (prior to continuing)

Changes in plans must be approved by the Planning & Zoning Dept.

(8) Setbacks: (measured to the closest point)

Description	Setback Measurements	Description	Setback Measurements
Setback from the Centerline of Platted Road	Feet	Setback from the Lake (ordinary high-water mark)	3 Feet
Setback from the Established Right-of-Way	Feet	Setback from the River, Stream, Creek	Feet
		Setback from the Bank or Bluff	Feet
Setback from the North Lot Line	120 Feet		
Setback from the South Lot Line	160 Feet	Setback from Wetland	200 Feet
Setback from the West Lot Line	1100 Feet	20% Slope Area on the property	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Setback from the East Lot Line	80 Feet	Elevation of Floodplain	Feet
Setback to Septic Tank or Holding Tank	Feet	Setback to Well	60 Feet
Setback to Drain Field	Feet		
Setback to Privy (Portable, Composting)	Feet		

Prior to the placement or construction of a structure within ten (10) feet of the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner or marked by a licensed surveyor at the owner's expense.

Prior to the placement or construction of a structure more than ten (10) feet but less than thirty (30) feet from the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner, or verifiable by the Department by use of a corrected compass from a known corner within 500 feet of the proposed site of the structure, or must be marked by a licensed surveyor at the owner's expense.

(9) Stake or Mark Proposed Location(s) of New Construction, Septic Tank (ST), Drain field (DF), Holding Tank (HT), Privy (P), and Well (W).

NOTICE(s): All Land Use Permits Expire One (1) Year from the Date of Issuance if Construction or Use has not begun.
For the Construction of New One & Two Family Dwelling: ALL Municipalities Are Required To Enforce The Uniform Dwelling Code.
The local Town, Village, City, State or Federal agencies may also require permits.

If subject property is part of a Condominium Plat, applicant hereby certifies and represents that applicant has all necessary approvals and recorded documents required to complete the project for which this permit is sought including requirements set forth in Wisconsin statutes pertaining to condominium associations, the Declaration of the Condominium Association in which the property is located, and all other rules, regulations and requirements pertaining to that Condominium Association.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

Issuance Information (County Use Only)		Sanitary Number: _____	# of bedrooms: _____	Sanitary Date: _____
Permit Denied (Date):		Reason for Denial:		
Permit #: 22-6297		Permit Date: 10-28-2022		
Is Parcel a Sub-Standard Lot	<input type="checkbox"/> Yes (Deed of Record) <input checked="" type="checkbox"/> No	Mitigation Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Required
Is Parcel in Common Ownership	<input checked="" type="checkbox"/> Yes (Fused/Contiguous Lot(s)) <input type="checkbox"/> No	Mitigation Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Attached
Is Structure Non-Conforming	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Granted by Variance (B.O.A.)		Previously Granted by Variance (B.O.A.)		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		
Was Parcel Legally Created		Were Property Lines Represented by Owner		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Was Proposed Building Site Delineated		Was Property Surveyed		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Inspection Record: Existing shed to be replaced.		Zoning District (21) Lakes Classification (2)		
Date of Inspection: 10/18/22		Inspected by: ms		Date of Re-Inspection:
Condition(s): Town, Committee or Board Conditions Attached? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – (If No they need to be attached.) To meet all setbacks including eaves and overhangs. To be replaced within existing footprint. Town/State/DNR permits may be required.				
Signature of Inspector: [Signature]				Date of Approval: 10/19/22
Hold For Sanitary: <input type="checkbox"/> _____	Hold For TBA: <input type="checkbox"/> _____	Hold For Affidavit: <input type="checkbox"/> _____	Hold For Fees: <input type="checkbox"/> _____	<input type="checkbox"/> _____

To: Bayfield County Planning and Zoning Department

From: Maura Byrnes Fabrizi 

Re: 41330 White Bass Lake Road permit authorization

Date: August 10, 2022

As Co-owner of this property, I grant permission /authorization to apply for a permit for a shed on the property.

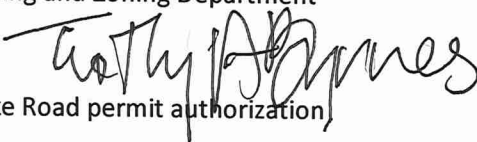
I may be contacted at (561)312-6461

mmmmf@yahoo.com

To: Bayfield County Planning and Zoning Department

From: Timothy A. Byrnes

Re: 41330 White Bass Lake Road permit authorization

A handwritten signature in black ink, appearing to read "Timothy A. Byrnes", is written over the "From:" and "Re:" lines of the header.

Date: August 10, 2022

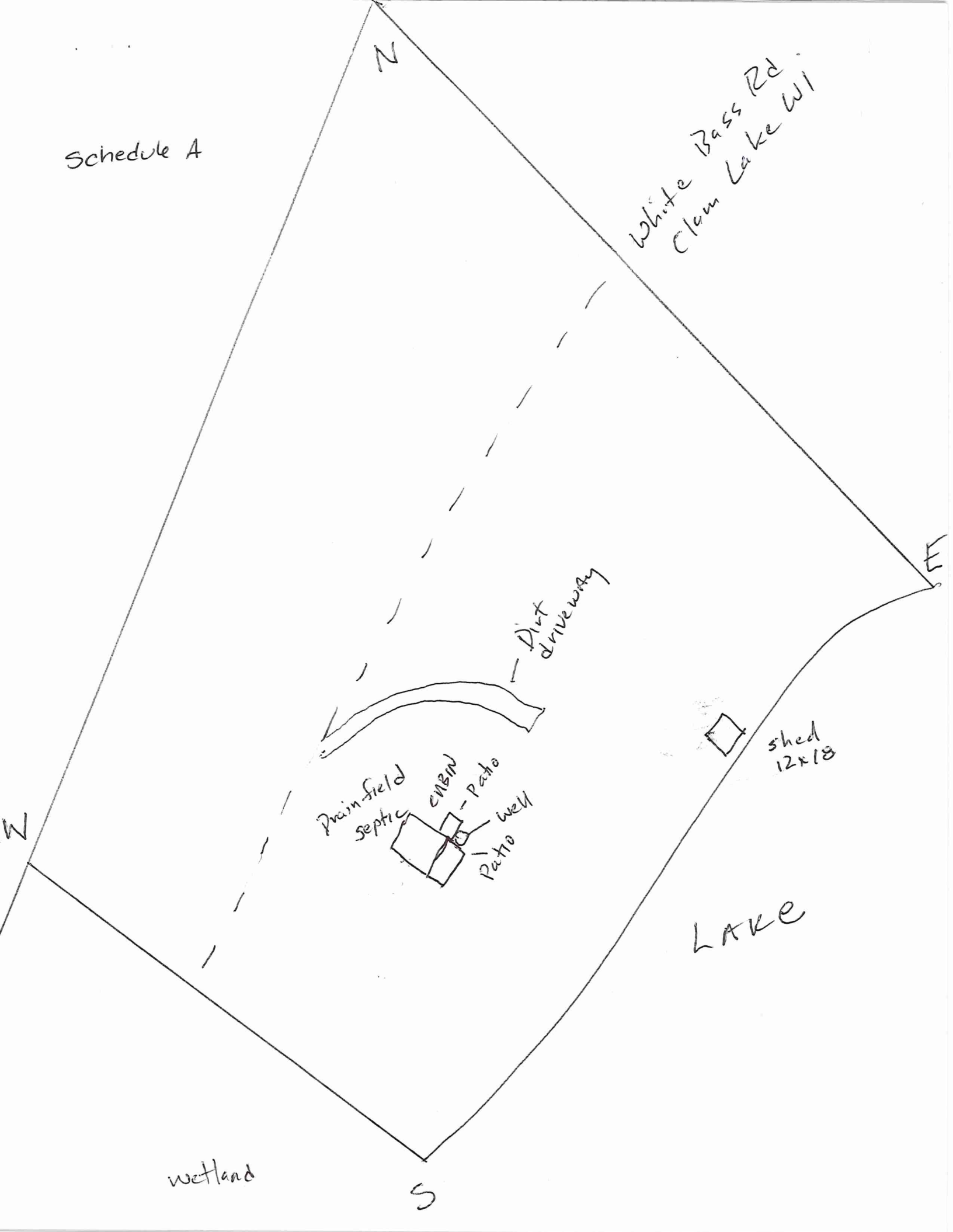
As Co-owner of this property, I grant permission /authorization to apply for a permit for a shed on the property.

I may be contacted at (425) 387-2529

timbyrnes713@yahoo.com

Schedule A

White Bass Rd
Clam Lake WI



To Pay 2nd half or Past Year
taxes only by Credit Card,
Echeck, or Debit Card to the
Bayfield County Treasurer use
this link.

Pay Bayfield County
Treasurer By Credit Card

For Credit Card or Echeck
payments to the following
municipalities use the
municipality link below.

December and January

	Jurisdiction
Town Of Barnes	#a0014e
Town Of Bayfield	----
City Of Bayfield	----
City Of Washburn	----

Public AccessReal Estate

Search

Tax ID:Alt./Legacy ID:

PIN:

Owner Name:First:Last/Org.:

Site Address:#:Road:

Current Property

Tax ID: 24127

BRIDGET A BYRNES

3829 WARREN ST

COTTAGE GROVE WI 53527

Search Results - Records Found:

PIN: 04-034-2-43-05-25-3 05-006-10000

Tax ID: 24127 0.000 Ac.

S25-T43N-R05W

GOVT LOT 6

Owners:

BRIDGET A BYRNES

3829 WARREN ST

COTTAGE GROVE WI 53527

TIMOTHY A BYRNES

10530 MARINE VIEW DR

MUKILTEO WA 98275

MAURA FABRIZI

176 AMISTAD DR

ST AUGUSTINE FL 32086

Site:

41330 WHITE BASS LAKE RD

Real Estate Bayfield County Property

Listing

Today's Date: 10/3/2022

Description

Updated: 7/22/2022

Tax ID: 24127

PIN: 04-034-2-43-05-25-3 05-006-10000

Legacy PIN: 034102107000

Map ID:

Municipality: (034) TOWN OF NAMAKAGON

STR: S25 T43N R05W

Description: 2 PAR IN GOVT LOT 6 IN DOC 2021R-588355 159

Recorded Acres: 0.000

Calculated Acres: 31.906

Lottery Claims: 0

First Dollar: Yes

Zoning: (F-1) Forestry-1

ESN: 123

Tax Districts

Updated: 3/15/2006

L

J4

J34

J41491

J01700

STATE

COUNTY

TOWN OF NAMAKAGON

SCHL-DRUMMOND

TECHNICAL COLLEGE

Recorded Documents

Updated: 3/15/2006

TRUSTEES DEED

Date Recorded: 4/28/2021

2021R-588355

CONVERSION

Date Recorded:

485310 528-312;717-30;870-93

QUIT CLAIM DEED

Date Recorded: 9/3/2003

2003R-485310

Ownership

BRIDGET A BYRNES

TIMOTHY A BYRNES

MAURA FABRIZI

Billing Address:

BRIDGET A BYRNES E

3829 WARREN ST

COTTAGE GROVE WI 53

Site Address

* in

41330 WHITE BASS LAKE

Property Assessment

2022 Assessment Det

Code

G1-RESIDENTIAL

G5-UNDEVELOPED

G6-PRODUCTIVE FOREST

2-Year Comparison

Land:

Improved:

Total:

Property History

N/A

Progress:

Print

Town, City, Village, State or Federal
Permits May Also Be Required
**SHORELAND / WETLAND / FLOODPLAIN
IMPERVIOUS SURFACE CALCULATIONS**
LAND USE – **X**
SANITARY –
SIGN –
SPECIAL –
CONDITIONAL –
BOA –

BAYFIELD COUNTY
PERMIT

**WEATHERIZE AND POST THIS PERMIT
ON THE PREMISES DURING CONSTRUCTION**

No. **22-0297** Tax ID: **24127** Issued To: **Bridget Byrnes/Timothy Byrnes/Maura Fabrizi**

Location: $\frac{1}{4}$ of $\frac{1}{4}$ Section **25** Township **43** N. Range **5** W. Town of **Namakagon**

2 Parcels in

Gov't Lot **6** Lot Block Subdivision
In Doc **2021R-588355**

Residential Structure in R-1 Zoning District

For: Accessory: [1- Story]; Removal of Existing Shed and Replacing (16' x 12') = 192 sq. ft.] Height of 12'

(Disclaimer): Any future expansions or development would require additional permitting.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

Condition(s): **Meet all setbacks including eaves and overhangs. To be replaced within existing footprint.**
Town/State/DNR permits may be required.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

NOTE: This permit expires one year from date of issuance if the authorized construction work or land use has not begun.

Changes in plans or specifications shall not be made without obtaining approval.
This permit may be void or revoked if any of the application information is found to have been misrepresented, erroneous, or incomplete.

This permit may be void or revoked if any performance conditions are not completed or if any prohibitory conditions are violated.

Mckenzie Slack, AZA

Authorized Issuing Official

October 28, 2022

Date

SUBMIT: COMPLETED APPLICATION, TAX STATEMENT AND FEE TO:
Bayfield County
Planning and Zoning Depart.
PO Box 58
Washburn, WI 54891
(715) 373-6138

APPLICATION FOR PERMIT
BAYFIELD COUNTY, WISCONSIN



Permit #:	22-0298
Date:	10-28-2022
Amount Paid:	1,860
Other:	Imp Surf 100 10-28-2022 dak
Refund:	

INSTRUCTIONS: No permits will be issued until all fees are paid.
Checks are made payable to: Bayfield County Zoning Department.

DO NOT START CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN ISSUED TO APPLICANT.

Original Application MUST be submitted

FILL OUT IN INK (NO PENCIL)

TYPE OF PERMIT REQUESTED		<input checked="" type="checkbox"/> LAND USE		<input type="checkbox"/> SANITARY	<input type="checkbox"/> PRIVY	<input type="checkbox"/> CONDITIONAL USE	<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> B.O.A.	<input type="checkbox"/> OTHER
Owner's Name: RICHARD E STEPHANIE LONGNECKER		Mailing Address: 2029 THOM COURT		City/State/Zip: ARDEN HILLS, MN 55112		Telephone:			
Address of Property: XXXXX TELEMAR POINT DR		City/State/Zip: CABLE, WI 54821		Cell Phone: 651-343-6559					
Email: (print clearly) slongnecker@preferredpowder.com		ricky@rr-n-s.com		Plumber: BURCH PLUMBING INC				Plumber Phone: 715-416-1642	
Contractor: HILL CONSTRUCTION, LLC		Contractor Phone: 715-634-6750		Agent Phone: 715-636-0849		Agent Mailing Address (include City/State/Zip): 15988 US HWY 63 HAYWARD, WI 54843		Written Authorization Required (for Agent)	
Authorized Agent: (Person Signing Application on behalf of Owner(s)) CARRIE BENDER HILL CONSTRUCTION, LLC		Tax ID# 38512-38515		Recorded Document: (Showing Ownership) 2021R-591218					
PROJECT LOCATION		Legal Description: (Use Tax Statement)		Subdivision:					
1/4, 1/4		Gov't Lot 6		Lot(s)		CSM		Vol & Page	
Section 13		Township 43 N, Range 06 W		Town of: NAMAKAGON		Lot Size 52,200 SF		Acreage 1.2	

<input checked="" type="checkbox"/> Shoreland	<input type="checkbox"/> Is Property/Land within 300 feet of River, Stream (incl. Intermittent) Creek or Landward side of Floodplain? If yes---continue →	Distance Structure is from Shoreline : _____ feet	Is your Property in Floodplain Zone? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are Wetlands Present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	<input checked="" type="checkbox"/> Is Property/Land within 1000 feet of Lake, Pond or Flowage If yes---continue →	Distance Structure is from Shoreline : 75 feet		
<input type="checkbox"/> Non-Shoreland				

Value at Time of Completion * include donated time & material	Project	Project # of Stories	Project Foundation	Total # of bedrooms on property	What Type of Sewer/Sanitary System(s) Is on the property or Will be on the property?	Type of Water on property
\$ 620,000	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> 1-Story	<input type="checkbox"/> Basement	<input type="checkbox"/> 1	<input type="checkbox"/> Municipal/City	<input type="checkbox"/> City
	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> 1-Story + Loft	<input checked="" type="checkbox"/> Foundation	<input type="checkbox"/> 2	<input checked="" type="checkbox"/> (New) Sanitary Specify Type: MOUND SYSTEM	<input checked="" type="checkbox"/> Well
	<input type="checkbox"/> Conversion	<input checked="" type="checkbox"/> 2-Story	<input type="checkbox"/> Slab	<input type="checkbox"/> 3	<input type="checkbox"/> Sanitary (Exists) Specify Type:	<input type="checkbox"/>
	<input type="checkbox"/> Relocate (existing bldg)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> 5	<input type="checkbox"/> Privy (Pit) or <input type="checkbox"/> Vaulted (min 200 gallon)	
	<input type="checkbox"/> Run a Business on Property		<input checked="" type="checkbox"/> Use	<input type="checkbox"/> None	<input type="checkbox"/> Portable (w/service contract)	
	<input type="checkbox"/>		<input checked="" type="checkbox"/> Year Round	<input type="checkbox"/> Compost Toilet		
				<input type="checkbox"/> None		

Existing Structure: (if addition, alteration or business is being applied for)	Length:	Width:	Height:
Proposed Construction: (overall dimensions)	Length: 78	Width: 54	Height: 28.5'

Proposed Use	✓	Proposed Structure	Dimensions	Square Footage
<input checked="" type="checkbox"/> Residential Use	<input checked="" type="checkbox"/>	Principal Structure (first structure on property)	(X)	
	<input checked="" type="checkbox"/>	Residence (i.e. cabin, hunting shack, etc.)	(78 x 54)	4212
	<input checked="" type="checkbox"/>	with Loft	(X)	
	<input checked="" type="checkbox"/>	with a Porch	(11 x 6)	66
<input type="checkbox"/> Commercial Use	<input type="checkbox"/>	with (2nd) Porch	(X)	
	<input type="checkbox"/>	with a Deck	(X)	
	<input type="checkbox"/>	with (2nd) Deck	(X)	
<input type="checkbox"/> Municipal Use	<input type="checkbox"/>	with Attached Garage	(X)	
	<input type="checkbox"/>	Bunkhouse w/ (<input type="checkbox"/> sanitary, or <input type="checkbox"/> sleeping quarters, or <input type="checkbox"/> cooking & food prep facilities)	(X)	
	<input type="checkbox"/>	Mobile Home (manufactured date)	(X)	
	<input type="checkbox"/>	Addition/Alteration (explain)	(X)	
	<input type="checkbox"/>	Accessory Building (explain)	(X)	
	<input type="checkbox"/>	Accessory Building Addition/Alteration (explain)	(X)	
	<input type="checkbox"/>	Special Use: (explain)	(X)	
	<input type="checkbox"/>	Conditional Use: (explain)	(X)	
<input type="checkbox"/>	Other: (explain)	(X)		

FAILURE TO OBTAIN A PERMIT or STARTING CONSTRUCTION WITHOUT A PERMIT WILL RESULT IN PENALTIES
I (we) declare that this application (including any accompanying information) has been examined by me (us) and to the best of my (our) knowledge and belief it is true, correct and complete. I (we) acknowledge that I (we) am (are) responsible for the detail and accuracy of all information I (we) am (are) providing and that it will be relied upon by Bayfield County in determining whether to issue a permit. I (we) further accept liability which may be a result of Bayfield County relying on this information I (we) am (are) providing in or with this application. I (we) consent to county officials charged with administering county ordinances to have access to the above described property at any reasonable time for the purpose of inspection.

Owner(s):
(If there are Multiple Owners listed on the Deed All Owners must sign or letter(s) of authorization must accompany this application)

Date

Authorized Agent: Carrie Bender (See Note below)
(If you are signing on behalf of the owner(s) a letter of authorization must accompany this application)

Date 8-19-22

Address to send permit 15988 US HWY 63 HAYWARD, WI 54843

Attach
Copy of Tax Statement

If you recently purchased the property send your Recorded Deed

Turn Over

In the box below: **Draw or Sketch your Property** (regardless of what you are applying for)

- (1) Show Location of: Proposed Construction
- (2) Show / Indicate: North (N) on Plot Plan
- (3) Show Location of (*): (*) Driveway and (*) Frontage Road (Name Frontage Road)
- (4) Show: All Existing Structures on your Property
- (5) Show: (*) Well (W); (*) Septic Tank (ST); (*) Drain Field (DF); (*) Holding Tank (HT) and/or (*) Privy (P).
- (6) Show any (*): (*) Lake; (*) River; (*) Stream/Creek; or (*) Pond
- (7) Show any (*): (*) Wetlands; or (*) Slopes over 20%

Fill Out in Ink – NO PENCIL

SEE ATTACHED PLOT PLAN

Please complete (1) – (7) above (prior to continuing)

Changes in plans must be approved by the Planning & Zoning Dept.

(8) Setbacks: (measured to the closest point)

Description	Setback Measurements		Description	Setback Measurements
Setback from the Centerline of Platted Road	650 Feet		Setback from the Lake (ordinary high-water mark)	75 Feet
Setback from the Established Right-of-Way	140 Feet		Setback from the River, Stream, Creek	Feet
			Setback from the Bank or Bluff	Feet
Setback from the North Lot Line	75 Feet			
Setback from the South Lot Line	200 Feet		Setback from Wetland	Feet
Setback from the West Lot Line	10 Feet		20% Slope Area on the property	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Setback from the East Lot Line	95 Feet		Elevation of Floodplain	Feet
Setback to Septic Tank or Holding Tank	20 Feet		Setback to Well	75 Feet
Setback to Drain Field	Feet			
Setback to Privy (Portable, Composting)	Feet			

Prior to the placement or construction of a structure within ten (10) feet of the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner or marked by a licensed surveyor at the owner's expense.

Prior to the placement or construction of a structure more than ten (10) feet but less than thirty (30) feet from the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner, or verifiable by the Department by use of a corrected compass from a known corner within 500 feet of the proposed site of the structure, or must be marked by a licensed surveyor at the owner's expense.

(9) Stake or Mark Proposed Location(s) of New Construction, Septic Tank (ST), Drain field (DF), Holding Tank (HT), Privy (P), and Well (W).

NOTICE(s):

All Land Use Permits Expire One (1) Year from the Date of Issuance if Construction or Use has not begun.

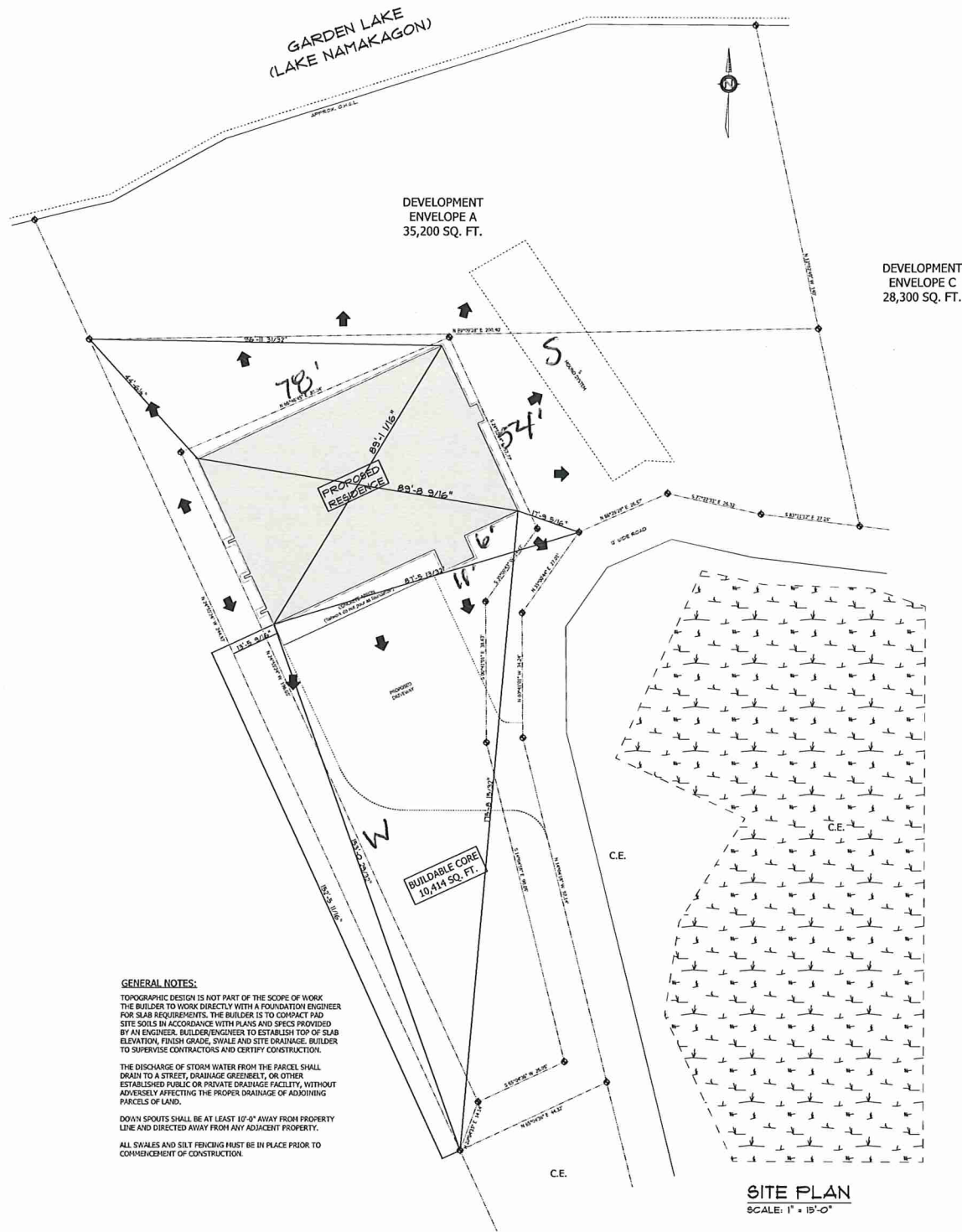
For the Construction of New One & Two Family Dwelling: ALL Municipalities Are Required To Enforce The Uniform Dwelling Code.

The local Town, Village, City, State or Federal agencies may also require permits.

If subject property is part of a Condominium Plat, applicant hereby certifies and represents that applicant has all necessary approvals and recorded documents required to complete the project for which this permit is sought including requirements set forth in Wisconsin statutes pertaining to condominium associations, the Declaration of the Condominium Association in which the property is located, and all other rules, regulations and requirements pertaining to that Condominium Association.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

Issuance Information (County Use Only)		Sanitary Number: 22-158 S	# of bedrooms: 5	Sanitary Date: 10-28-2022
Permit Denied (Date):		Reason for Denial:		
Permit #: 22-0298		Permit Date: 10-28-2022		
Is Parcel a Sub-Standard Lot	<input type="checkbox"/> Yes (Deed of Record) <input checked="" type="checkbox"/> No	Mitigation Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Required
Is Parcel in Common Ownership	<input type="checkbox"/> Yes (Fused/Contiguous Lot(s)) <input checked="" type="checkbox"/> No	Mitigation Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Attached
Is Structure Non-Conforming	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Granted by Variance (B.O.A.)		Previously Granted by Variance (B.O.A.)		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Case #:		
Was Parcel Legally Created		Were Property Lines Represented by Owner		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Was Proposed Building Site Delineated		Was Property Surveyed		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Inspection Record: Staked		McKenzie verified Wline via message 10-27-2022		Zoning District (R-2B)
Date of Inspection: 10/11/22		Inspected by: MS		Lakes Classification (1)
Condition(s): Town, Committee or Board Conditions Attached? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – (If No they need to be attached.)				
To meet all setbacks including eaves and overhangs. To be constructed per plan. UDC permit to be obtained. Town/State/Dir permits may be required upon completion, submit/record amendment to condo plat showing location of units.				
Signature of Inspector: [Signature]				Date of Approval: 10/18/22
Hold For Sanitary: <input type="checkbox"/>	Hold For TBA: <input type="checkbox"/>	Hold For Affidavit: <input type="checkbox"/>	Hold For Fees: <input type="checkbox"/>	<input type="checkbox"/>



GENERAL NOTES:

TOPOGRAPHIC DESIGN IS NOT PART OF THE SCOPE OF WORK. THE BUILDER TO WORK DIRECTLY WITH A FOUNDATION ENGINEER FOR SLAB REQUIREMENTS. THE BUILDER IS TO COMPACT PAD SITE SOILS IN ACCORDANCE WITH PLANS AND SPECS PROVIDED BY AN ENGINEER. BUILDER/ENGINEER TO ESTABLISH TOP OF SLAB ELEVATION, FINISH GRADE, SWALE AND SITE DRAINAGE. BUILDER TO SUPERVISE CONTRACTORS AND CERTIFY CONSTRUCTION.

THE DISCHARGE OF STORM WATER FROM THE PARCEL SHALL DRAIN TO A STREET, DRAINAGE GREENBELT, OR OTHER ESTABLISHED PUBLIC OR PRIVATE DRAINAGE FACILITY, WITHOUT ADVERSELY AFFECTING THE PROPER DRAINAGE OF ADJOINING PARCELS OF LAND.

DOWN SPOUTS SHALL BE AT LEAST 10'-0" AWAY FROM PROPERTY LINE AND DIRECTED AWAY FROM ANY ADJACENT PROPERTY.

ALL SWALES AND SILT FENCING MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAWING SCHEDULE	
Site Plan	1
Foundation Forming	2
1st Floor	3
2nd Floor	4
Front & Right Elevations	5
Rear & Left Elevations	6
1st Floor Electrical	7
2nd Floor Electrical	8
Interior Elevations	9
Roof Plan	10
Sections & Details	11

NOTICE:
EVERY EFFORT HAS BEEN MADE TO PRODUCE QUALITY PLANS. IF THESE PLANS ARE TO BE REFERENCED FOR THE PURPOSE OF BUILDING AN ACTUAL STRUCTURE, BUILDER ASSUMES FULL RESPONSIBILITY TO VERIFY ALL DIMENSIONS, ACQUIRE ALL NECESSARY ENGINEERING, COMPLY WITH ALL APPLICABLE LOCAL BUILDING CODES AND ORDINANCES AND TO MAKE ANY AND ALL NECESSARY MODIFICATIONS TO THE PLANS AS REQUIRED.

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15988 U.S. HIGHWAY 63
HAYWARD, WI. 54843
715-634-6750



CUSTOM PLAN

Telemark Pointe Condominium

Longnecker

Lot 6, Section 13 Namakagon, Bayfield County, WI.

DATE	8/19/2022
SCALE	1" = 15'-0"
DRAWN	KEVIN DULL

Bayfield County
Impervious Surface Calculations

RECEIVED

AUG 22 2022

These calculations are **REQUIRED** per WI Admin Code NR 115.05(1)(e) and Section 13-1-32(g) and 13-1-40(h) of the Bayfield County Code of Ordinances. The undersigned hereby makes application for construction, reconstruction, expansion, replacement or relocation of any impervious surface within 300 feet of the ordinary high-water mark and agrees that all activities shall be in accordance with the requirements of the Bayfield County Code of Ordinances and all other applicable ordinances and the laws of the State of Wisconsin.

Pursuant to Chapter 1, Title 13, Section 13-1-106(d) of the Bayfield County Zoning Ordinance(s), Planning and Zoning Department employees assigned to inspect properties shall have access to said properties to make inspections.

Owner / Applicant	
Owner's Name	RICHARD & STEPHANIE LONGNECKER
Site Address	KXXVX TELEMAR POINT DR
City / State Zip	CABLE, WI 54821
Mailing Address	2029 THOM COURT
City / State / Zip	ARDEN HILLS, MN 55112
Phone(s)	() Cell 651-343-6559
Email Address	slongnecker@preferredpowder.com ricky@rr-n-s.com

Accurate Legal Description involved in this request (specify <u>only</u> the property involved with this application)									
PROJECT LOCATION	Legal Description: (Use Tax Statement)		Tax ID #:		Lot Size	Acreage	Zoning District	Lakes Class	
	1/4	1/4	Section	Township	Range	Town of			
			13	43	06	NAMAKAGON			
Gov't Lot	Lot #	CSM #	Doc #	Vol	Page	Lot#	Blk #	Subdivision	
6									

Impervious Surface: An area that releases as runoff all or a majority of the precipitation that falls on it. "Impervious surface" excludes frozen soil but includes rooftops, sidewalks, driveways, parking lots and streets unless specifically designed, constructed, and maintained to be pervious. Impervious surface standards shall apply to the construction, reconstruction, expansion, replacement or relocation of any impervious surface that is or will be located within 300 feet of the ordinary high-water mark of any navigable waterway on any riparian lot or parcel. Nonriparian lot or parcel that is located entirely within 300 feet of the ordinary high-water mark of any navigable waterway.

Calculation of Impervious Surface: Percentage of impervious surface shall be calculated by dividing the surface area of the existing and proposed impervious surfaces on the lot or parcel by the total surface area of that lot or parcel and multiplying by 100. If an outlot lies between the ordinary high-water mark and the developable lot or parcel described in subd. 1. and both are in common ownership, the lot or parcel and the outlot shall be considered one lot or parcel for the purposes of calculating the percentage of impervious surfaces.

Impervious Surface Standard: Allow up to 15% impervious surface but not more than 30% impervious surface on the portion of a lot or parcel that is within 300 feet of the ordinary high-water mark. A permit can be issued for development that exceeds 15% impervious surface but not more than 30% impervious surfaces with a mitigation plan that meets the requirements of the Bayfield County Ordinance(s).

Existing Impervious Surfaces: For existing impervious surfaces that were lawfully placed when constructed but that do not comply with the standards in Section(s) 13-1-32(g) and Section 13-1-40(h), the property owner may do any of the following:

- Maintenance and repair all impervious surfaces:
- Replace existing impervious surfaces with similar surfaces within the existing building footprint.
- Relocate or modify existing impervious surfaces with similar or different impervious surfaces, provided that the relocation or modification does not result in an increase in the percentage that existed on the effective date of the county shoreland ordinance and meets the applicable setback requirements in Section 13-1-32.

Impervious Surface(s)

Impervious Surface Item	Dimension(s)	Square Footage
Existing House		
Existing Garage		
Existing Porch / Covered Porch		
Existing Porch #2 / Covered Porch #2		
Existing Deck		
Existing Deck #2		
Existing Sidewalk(s), Patio(s)		
Existing Storage Bldg		
Existing Shed		
Existing Accy: (explain) _____		
Existing Carport		
Existing Boathouse		
Existing Driveway		
Existing Road (Name) _____		
Existing Other (explain) _____		
Existing Other (explain) _____		
Proposed House	> 78x54	4212
Proposed Garage		
Proposed Addition (explain) _____		
Proposed Addition (explain) _____		
Proposed Porch / Covered Porch	11 x 6	66
Proposed Porch #2 / Covered Porch #2		
Proposed Deck #1		
Proposed Deck #2		
Proposed Balcony		
Proposed Sidewalk(s), Patio(s)		
Proposed Storage Bldg		
Proposed Shed		
Proposed Carport		
Proposed Accy: (explain) _____		
Proposed Boathouse		
Proposed Driveway	41x20	2800
Proposed Road (Name) _____		
Proposed Other (explain) _____		
Proposed Other (explain) _____		
Total:		7078

- a. Total square footage of lot: 52,200
- b. Total impervious surface area: 7078
- c. Percentage of impervious surface area: $100 \times (b)/a =$ 13.5%


Total square footage of additional impervious surface allowed: @ 15% 7830 @ 30% 15,660


Issuance Information (County Use Only)	Date of Inspection:
Inspection Record:	Zoning District () Lakes Classification ()
Condition(s):	Stormwater Management Plan Required: <input type="checkbox"/> Yes <input type="checkbox"/> No
Signature of Inspector:	Date of Approval:


Bayfield County, WI





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 Wetlands


 Rivers


 Lakes

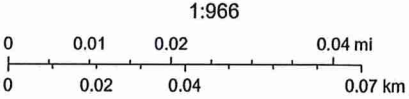
 Approximate Parcel Boundary

 Private

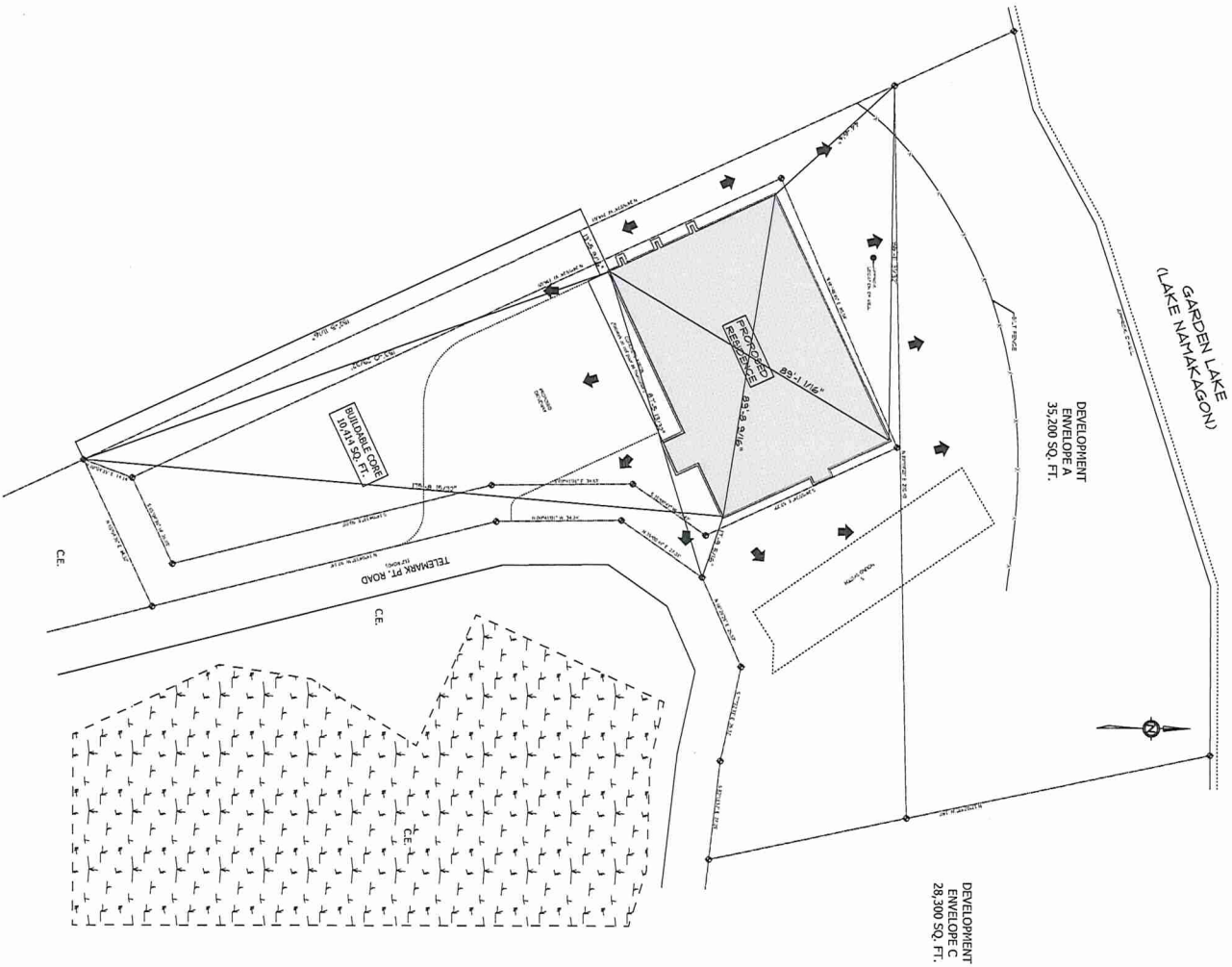
 AE = Base floodplain where base flood elevations are provided.

 Building Footprint 2015

 Building



Bayfield County Land Records Department



DRAWING SCHEDULE	
1	Site Plan
2	Foundation Forming
3	1st Floor
4	2nd Floor
5	Front & Right Elevations
6	Rear & Left Elevations
7	Interior Elevations
8	Roof Plan
9	Sections & Details

SITE PLAN
SCALE: 1" = 15'-0"

NOTES: OWNER HAS BEEN MADE TO PROVIDE QUALITY MATERIALS AND WORKMANSHIP TO BE REFERRED TO THE ACTUAL SPECIFICATIONS, BLUES TO VERIFY ALL DIMENSIONS, DIMENSIONS SHOWN WITHIN DRAWINGS SHALL BE FOLLOWED EXACTLY AND ANY AND ALL DIMENSIONS AS SHOWN ON THE PLAN.

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HILL CONSTRUCTION LLC
15988 U.S. HIGHWAY 63
P.O. BOX 1000
715-634-6720

HILL CONSTRUCTION
Quality Custom Homes
Design ~ Build

Telemark Pointe Condominium
Longnecker
Lot 6, Section 13 Namakagon, Bayfield County, WI.

CUSTOM PLAN

DATE 10/6/2022
SCALE 1" = 15'-0"
DRAWN KERRI ROLL
SHEET 1 OF 9

THESE PLANNING AND DESIGN PRINCIPLES ARE NOT MEANT TO BE RIGIDLY APPLIED TO ALL PLANS. IF THERE ARE PLANS THAT ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF RESEARCH, THE RESEARCHER MUST OBTAIN PERMISSION FROM THE AUTHOR. FOR ALL REPRODUCTION, THE RESEARCHER MUST OBTAIN PERMISSION FROM THE AUTHOR. FOR ALL REPRODUCTION, THE RESEARCHER MUST OBTAIN PERMISSION FROM THE AUTHOR.



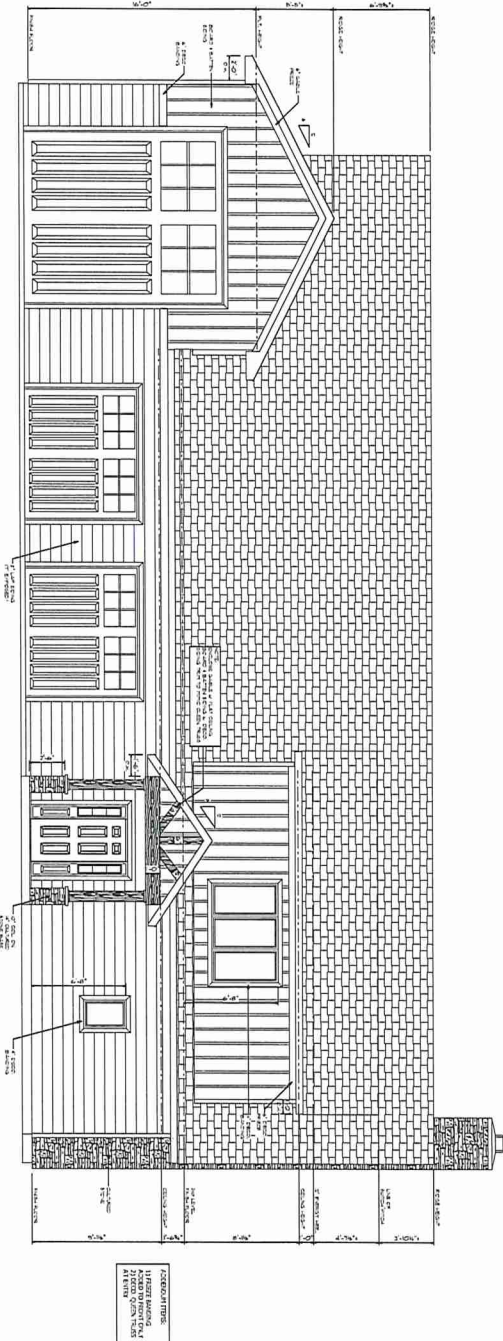
Longnecker

Lot 6, Section 13 Namakagon, Bayfield County. WI.

DATE	10/6/2022
SCALE	1/4" = 1'-0"
DRAWN	KEVIN DULL

U

SHEET 5 OF 9

[illegible]

DATE	10/6/2022
SCALE	1/4" = 1'-0"
DRAWN	KEVIN DOLL

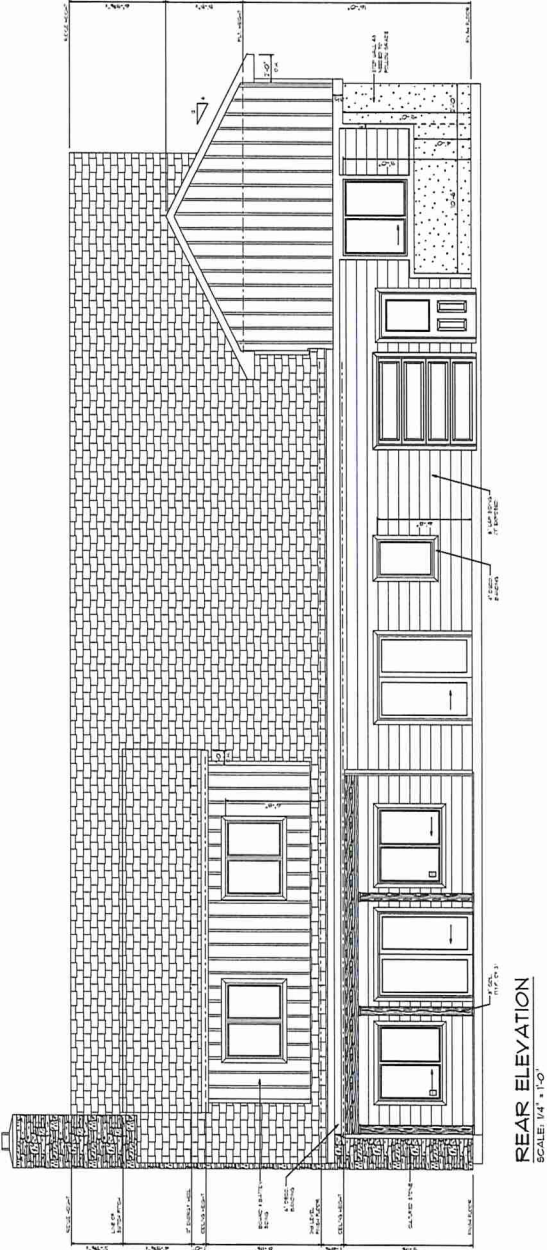
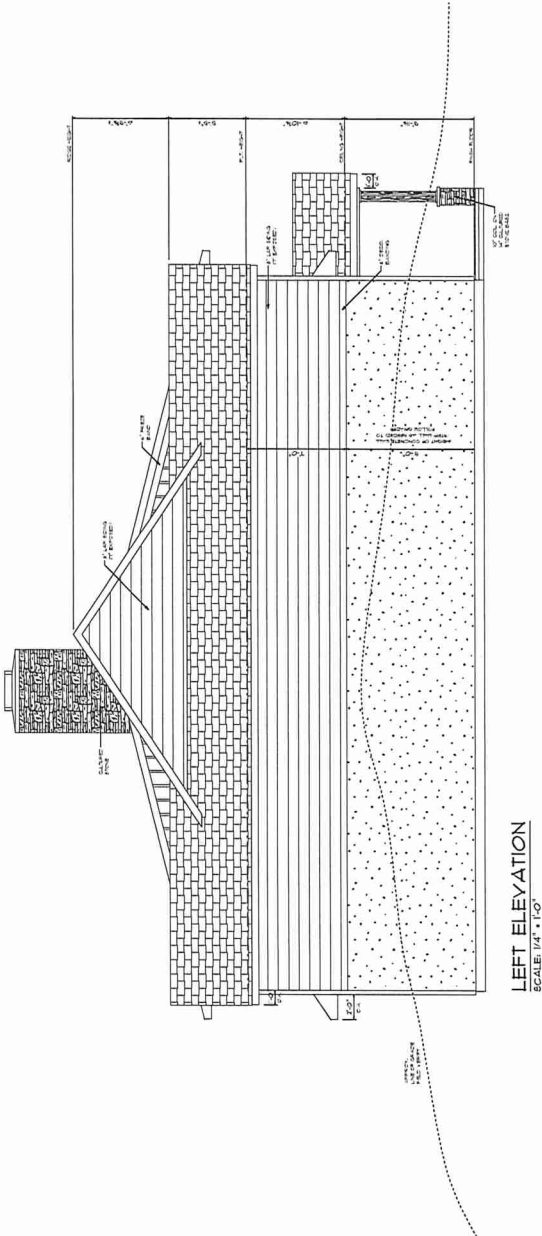
Telemark Pointe Condominium
Longnecker
Lot 6, Section 13 Namakagon, Bayfield County, WI.

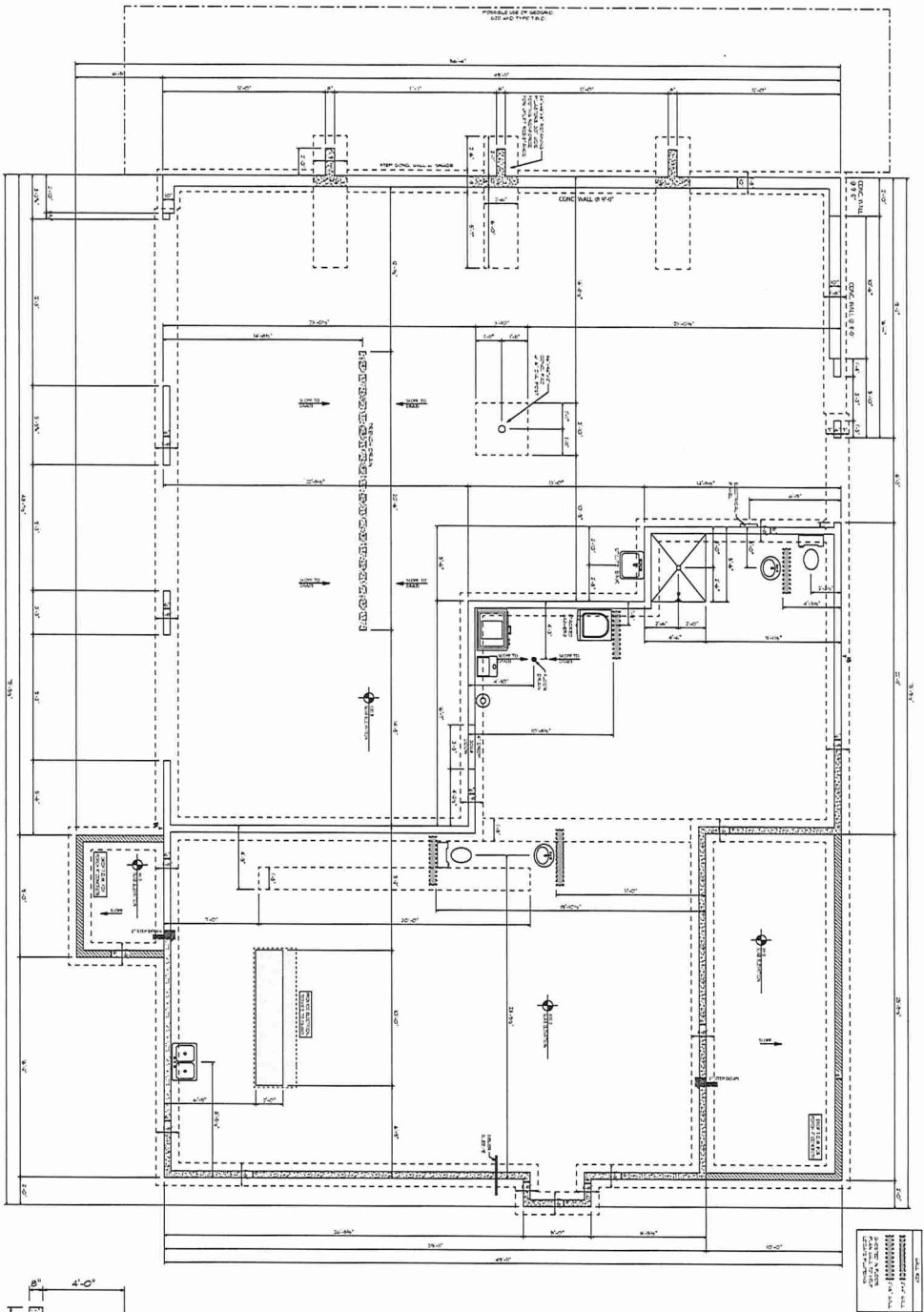
CUSTOM PLAN

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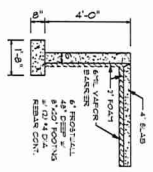
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HAYWARD, WI 54843
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15088 U.S. HIGHWAY 63
LOT 6, SECTION 13, NAMAKAGON, BAYFIELD COUNTY, WI.
LONGNECKER



FOUNDATION DETAIL
SCALE: 3/8\"/>

FOUNDATION FORMING
SCALE: 1/4\"/>

NOTICE: THESE DRAWINGS HAVE BEEN MADE TO PROVIDE A QUALITY PLAN FOR THE FOUNDATION OF THE PROJECT. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THESE DRAWINGS ARE THE PROPERTY OF HILL CONSTRUCTION, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF HILL CONSTRUCTION, INC.

15088 U.S. HIGHWAY 63
LOT 6, SECTION 13, NAMAKAGON, BAYFIELD COUNTY, WI.
LONGNECKER

TELEMARK POINTE CONDOMINIUM

CUSTOM PLAN

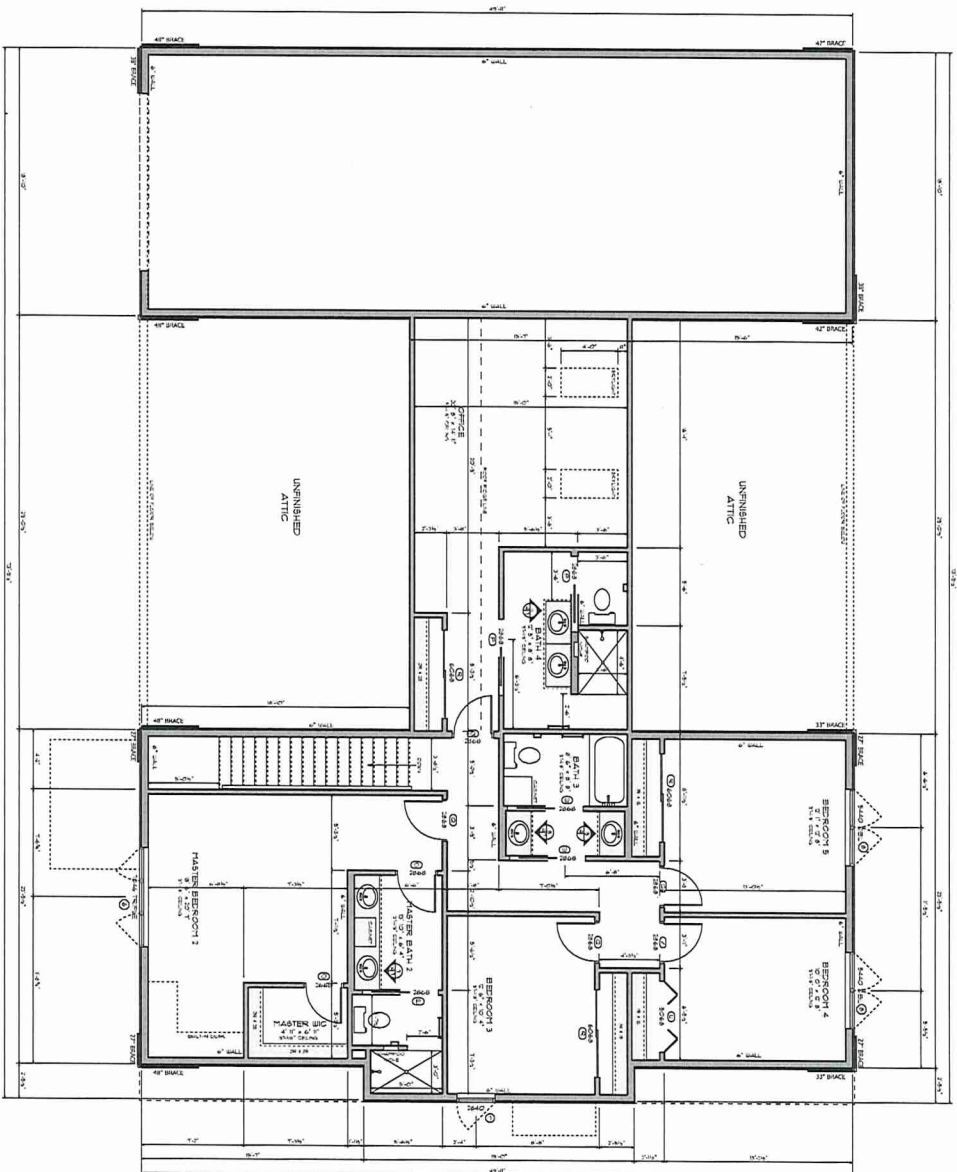
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LOT 6, SECTION 13, NAMAKAGON, BAYFIELD COUNTY, WI.
715-634-6750

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DATE: 10/6/2022
SCALE: As Shown
DRAWN: KERRI RILL

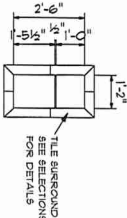
SHEET 2 OF 9



ITERATION LOG - SCHEDULE					
LETTER	SIZE	TYPE	COUNT	STRING	R.O. SIZE
O	2048	HEX-ED	2	UH - 2H	6.0, 3*4*8.37
P	256	INT-DOOR	3	BI	6.0, 6.67*6.67
Q	256	HEX-ED	4	BI - 3H	6.0, 3*4*8.37
R	6048	HEX-ED	3	UH	6.0, 6.67*6.67
S	5048	HEX-ED	1	UH-7H	6.0, 6.67*6.67
U	288	HEX-ED	1	UH - 7H	6.0, 3*4*8.37
W	256	INT-DOOR	2	UH	6.0, 6.67*6.67

ROOM NAME	ROOM NUMBER			
	ROOM NO.	COLOR	CURTAIN	WALLS
ROOM 1	000001	RED	RED	RED
ROOM 2	000002	BLUE	BLUE	BLUE
ROOM 3	000003	GREEN	GREEN	GREEN
ROOM 4	000004	YELLOW	YELLOW	YELLOW
ROOM 5	000005	PURPLE	PURPLE	PURPLE
ROOM 6	000006	PINK	PINK	PINK
ROOM 7	000007	BROWN	BROWN	BROWN
ROOM 8	000008	ORANGE	ORANGE	ORANGE
ROOM 9	000009	BLACK	BLACK	BLACK
ROOM 10	000010	WHITE	WHITE	WHITE

MATH - WINDOW SCREEN			
NUMBER	SIZE	TYPE	COUNT
5	70%	FLUO. CLASP/PT	R.O. 14.172 x 54.107
7	70%	CLASP/PT	(1) 9.472 x 13.678 (2) 14.172 x 54.107
8	540%	FL. CLASP/PT	(1) 14.172 x 54.107 (2) 14.172 x 54.107



SHAMPOO NICHE
SCALE: 1/2" = 1'-0"

AREA SCHEDULE	
NAME	AREA
1st Floor A/C System	1,037 sq. ft.
2nd Floor A/C System	1,646 sq. ft.
TRAIL A/C System	1,257 sq. ft.
Garage	1,833 sq. ft.
First Floor	33 sq. ft.
Basement	235 sq. ft.
Total Useful Area	5,815 sq. ft.

50'	50'	50'	50'
1.5 TON	1.5 TON	1.5 TON	1.5 TON
1.11 TON	1.11 TON	1.11 TON	1.11 TON
0.75 TON	0.75 TON	0.75 TON	0.75 TON
0.5 TON	0.5 TON	0.5 TON	0.5 TON
0.25 TON	0.25 TON	0.25 TON	0.25 TON
0.125 TON	0.125 TON	0.125 TON	0.125 TON
0.0625 TON	0.0625 TON	0.0625 TON	0.0625 TON
0.03125 TON	0.03125 TON	0.03125 TON	0.03125 TON
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0.0000000000582076609134674072265625 TON	0.0000000000582076609134674072265625 TON	0.0000000000582076609134674072265625 TON	0.0000000000582076609134674072265625 TON

CALCULATION
FROM TABLE 31.25)
ROOF HEIGHT ABOVE PLATE - LESS THAN 19'
WIND CLASS "B" NO PARALLEL
WIND WALLS - 59 PLYWOOD
CONCRETE-55 SHEETED METHOD

[illegible]

2nd LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET 4 OF 9

CUSTOM PLAN



HILL CONSTRUCTION LLC
15988 U.S. HIGHWAY 63
HAYWARD, W.I. 54843
715-634-6750

[illegible]

Telemark Pointe Condominium

Longnecker

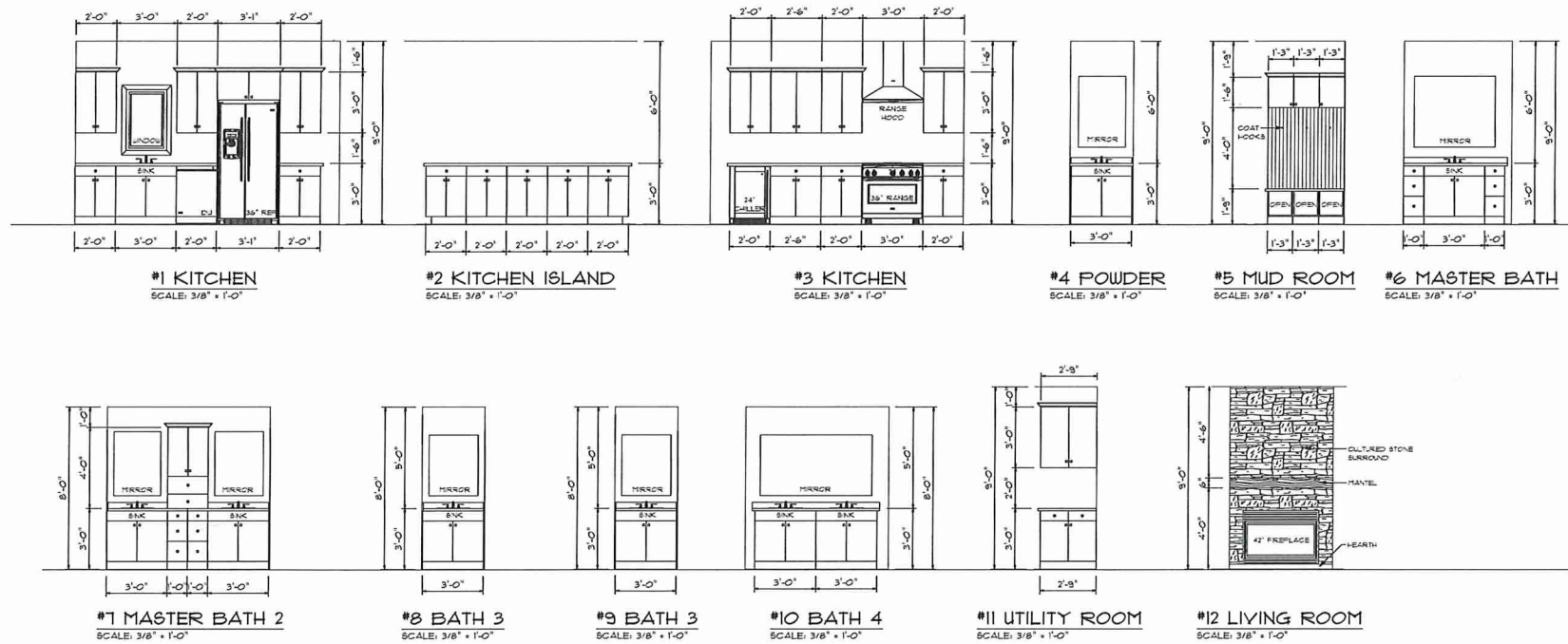
Lot 6, Section 13 Namakagon, Bayfield County. WI.

DATE	10/6
SCALE	AS
DRAWN	KEY

SHEET

4

SHEET 4 OF 9



INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

NOTICE:
EVERY EFFORT HAS BEEN
MADE TO PRODUCE QUALITY
PLANS. IF THESE PLANS ARE
TO BE REPRODUCED FOR THE
PURPOSE OF BUILDING AN
ACTUAL STRUCTURE, BUILDER
ASSUMES FULL RESPONSIBILITY
TO VERIFY ALL DIMENSIONS.
ACQUIRE ALL NECESSARY
ENGINEERING, COPY WITH
ALL APPLICABLE LOCAL
BUILDING CODES AND
ORDINANCES AND TO MAKE
ANY AND ALL NECESSARY
MODIFICATIONS TO THE PLANS
AS REQUIRED.

THESE DRAWINGS ARE THE
PROPERTY OF HILL
CONSTRUCTION LLC. DEVELOPED
FOR THE EXCLUSIVE USE OF
HILL CONSTRUCTION LLC. THE
CLIENT AS STATED IN THE
DESIGN AGREEMENT. HILL
CONSTRUCTION LLC GRANTS
THE CLIENT A NON-EXCLUSIVE
RIGHT TO COPY, ALTER AND USE
THESE DRAWINGS AS THEY
SEE FIT FOR THE PURPOSE
OF BUILDING THE HOME
DEPICTED IN THE DRAWINGS.
COPYRIGHT HILL CONSTRUCTION
ALL RIGHTS RESERVED.

HILL CONSTRUCTION LLC
15988 U.S. HIGHWAY 63
HAYWARD, VT. 54843
715-634-6750



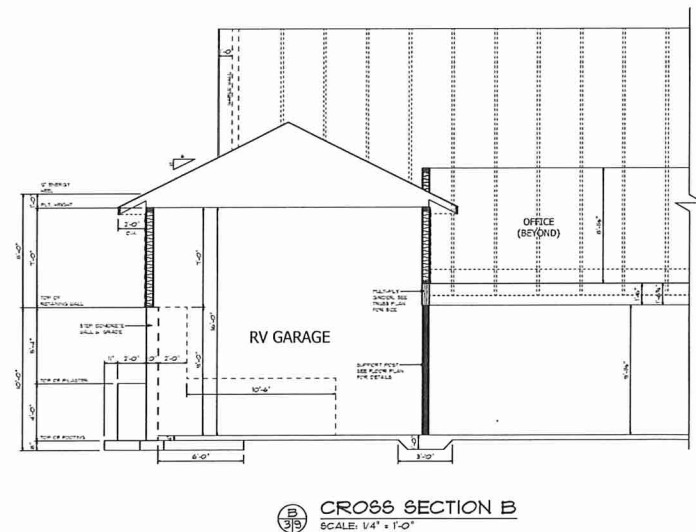
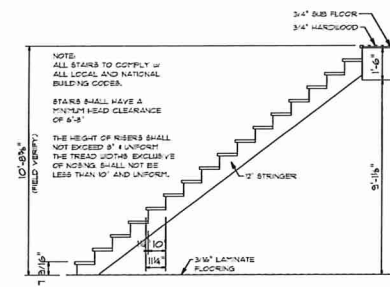
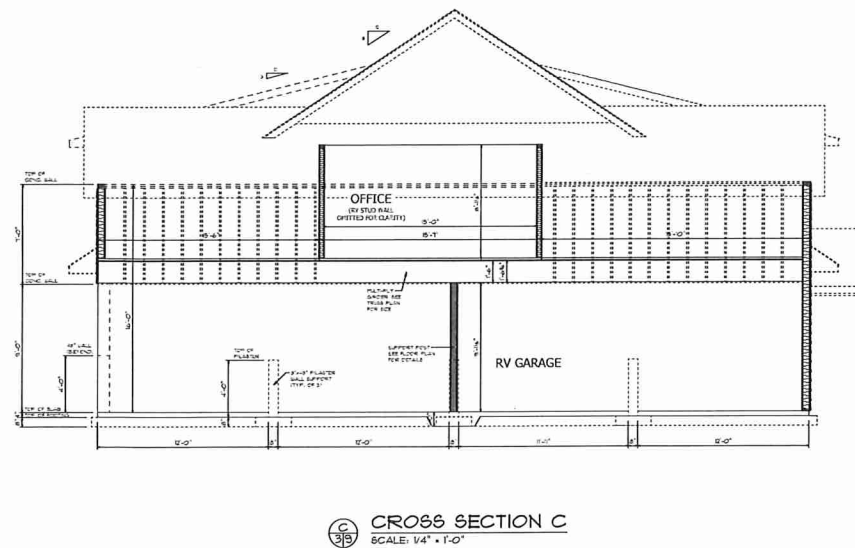
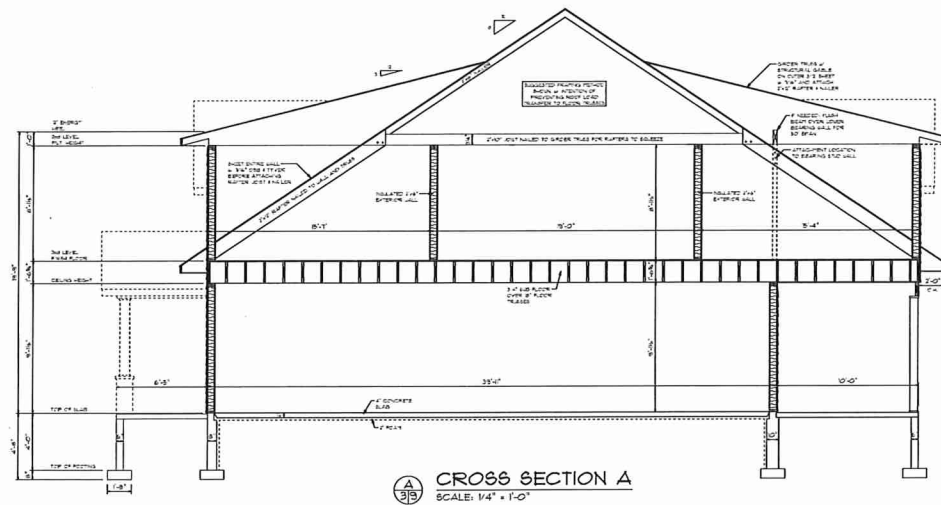
CUSTOM PLAN

Telemark Pointe Condominium

Longnecker
Lot 6, Section 13 Namakagon, Bayfield County, WI.

DATE	10/6/2022
SCALE	3/8" = 1'-0"
DRAWN	KEVIN DULL

SHEET	7
SHEET	7 OF 9



SECTIONS & DETAILS
SCALE: AS NOTED

NOTICE:
EVERY EFFORT HAS BEEN
MADE TO PRODUCE QUALITY
PLANS. IF THESE PLANS ARE
TO BE REFERENCED FOR THE
PURPOSE OF BUILDING AN
ACTUAL STRUCTURE, BUILDER
ASSUMES FULL RESPONSIBILITY
TO VERIFY ALL DIMENSIONS,
ACQUIRE ALL NECESSARY
ENGINEERING, COMPLY WITH
ALL APPLICABLE LOCAL
BUILDING CODES AND
ORDINANCES AND TO MAKE
ANY AND ALL NECESSARY
MODIFICATIONS TO THE PLANS
AS REQUIRED.

THESE DRAWINGS ARE THE PROPRIETARY WORK AND PROPERTY OF HILL CONSTRUCTION LLC. DEVELOPED FOR THE EXCLUSIVE USE OF HILL CONSTRUCTION AND CLIENT AS STATED IN THE DESIGN AGREEMENT. HILL CONSTRUCTION LLC GRANTS THE CLIENT NAMED ON THESE DRAWINGS A FREE LICENSE TO COPY, ALTER AND USE THESE DRAWINGS AS THEY SEE FIT FOR THE PURPOSE OF BUILDING THE HOME DEPICTED IN THE DRAWINGS. COPYRIGHT HILL CONSTRUCTION. ALL RIGHTS RESERVED.

HILL CONSTRUCTION LLC
15988 U.S. HIGHWAY 63
HAYWARD, VI. 54843
715-634-6750



CUSTOM PLAN

Elemark Pointe Condominium

Longnecker

DATE	10/6/2022
SCALE	As Noted
DRAWN	KEVIN DULL

SHEET
9
SHEET 9 OF 9

8/2/2022

RECEIVED

AUG 22 2022

Bayfield Co.
Planning and Zoning Agency

Attn: Bayfield County Zoning

To Whom It May Concern,

We, Richard and Stephanie Longnecker, hereby give permission to Hill Construction, LLC and it's employees to act on our behalf as an agent for the permitting process and construction of our home and garage in the Telemark Pointe Condominium, Lot 6.

Thank you,



Richard Longnecker & Stephanie Longnecker



* 2 0 2 1 R - 5 8 9 8 1 1 8 *

Document Number

EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM, OF
TELEMARK POINTE CONDOMINIUM,
a Wisconsin Condominium
Document Name

2021R-589811

DANIEL J. HEFFNER
BAYFIELD COUNTY, WI
REGISTER OF DEEDS
07/19/2021 11:25AM
TF EXEMPT #:
RECORDING FEE: 30.00
PAGES: 8

Telemark Pointe Condominium located in Government Lot
Six (6) and the SW1/4 – SE1/4 of Section Thirteen (13), T43N,
R6W, in the Town of Namakagon, Bayfield County, Wisconsin

Unit 5.01: 04-034-2-43-06-13-4 00-644-51000
Unit 5.02: 04-034-2-43-06-13-4 00-644-52000
Unit 6.01: 04-034-2-43-06-13-4 00-644-53000
Unit 6.02: 04-034-2-43-06-13-4 00-644-54000

Unit 7.01: 04-034-2-43-06-13-4 00-644-55000
Unit 7.02: 04-034-2-43-06-13-4 00-644-56000
Unit 8.01: 04-034-2-43-06-13-4 00-644-57000
Unit 8.02: 04-034-2-43-06-13-4 00-644-58000

Unit 9.01: 04-034-2-43-06-13-4 00-644-59000
Unit 9.02: 04-034-2-43-06-13-4 00-644-51100
Unit 10.01: 04-034-2-43-06-13-4 00-644-51200
Unit 10.02: 04-034-2-43-06-13-4 00-644-51300

Recording Area

Name and Return Address
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.
220 6th Avenue West
PO Box 677
Ashland, WI 54806

Parcel Identification Number (PIN)

Drafted by:
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.

ATTACHMENT 2
(Consisting of a total of 8 pages)

Document Number

EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM, OF
TELEMARK POINTE CONDOMINIUM,
a Wisconsin Condominium
Document Name

RECITALS:

WHEREAS, the original Declaration of Condominium was recorded on May 5, 1989 in the Office of the Bayfield County, Wisconsin, Register of Deeds, as Document No. 380050, under the name Telemark Pointe, a Proprietary Ownership Condominium, and

WHEREAS, Telemark Pointe Unit Owners Association, Inc., is the association for the condominium, and

WHEREAS, a Seventh Amendment to and Restatement of Declaration of Condominium, of Telemark Pointe Condominium was duly recorded on July 13, 2018 as Document No. 2018R-573662 in the Bayfield County, Wisconsin Register of Deeds Office, and

WHEREAS, the Seventh Amendment created a structural, organizational and operational framework which established the following two areas within the overall condominium, which, in nearly all respects, function independently of each other:

- a. Area 1 which consists of the following 8 units: 1.01, 1.02, 2.01, 2.02, 3.01, 3.02, 4.01 and 4.02 which are or may be committed to either time-share ownership or unitary ownership which area is subject to the jurisdiction of the Telemark Pointe Proprietary Owners Association, Inc. ("TPPOA"), a sub-association, within the condominium, and
- b. Area 2 which consists of the following 12 units: 5.01, 5.02, 6.01, 6.02, 7.01, 7.02, 8.01, 8.02, 9.01, 9.02, 10.01 and 10.02 which are all unitary ownership units, which are subject to the jurisdiction of Telemark Pointe Unitary Owners Association ("TPUOA"), a Wisconsin unincorporated non-profit association under Chapter 184 Wis. Stats., which is a sub-association, within the condominium, and

WHEREAS, the Seventh Amendment provides in part that:

- a. Each sub-association may reconfigure, relocate and reallocate the units in the specific portion of the condominium property within its jurisdiction, and
- b. Unitary ownership units may be merged by the owner or owners of the units involved. Any number of units may be merged and jointly located within a single Development Envelope or allocated to a single dwelling, and
- c. A portion of the Declaration dealing exclusively with only one Area of the condominium may be amended by the sub-association having jurisdiction over that Area, and
- d. For purposes of amendment of the declaration, the sub-association having jurisdiction over the area not affected by the amendment shall be deemed to have consented to the amendment if properly adopted, and

Recording Area

Name and Return Address
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.
220 6th Avenue West
PO Box 677
Ashland, WI 54806

Parcel Identification Number (PIN)

- e. Unitary ownership units in Area 2 may be merged and relocated by the owner of the units involved. Any number of units may be merged and located jointly within a single Development Envelope. Any number of units may be allocated to a single dwelling.

NOW, THEREFORE, the undersigned hereby declare that the aforesaid Seventh Amendment to and Restatement of the Declaration of Condominium, of Telemark Pointe Condominium is hereby amended as follows:

1. Exhibit A III shall no longer apply to the 12 units in Area 2 of the condominium. Exhibit A III shall continue to apply to the 8 units in Area 1 of the condominium and the easement depicted on Exhibit A III shall continue to apply to both areas 1 and 2 of the condominium.
2. Telemark Pointe Unitary Owners Association, as the sub-association with jurisdiction over Area 2 and Palace View, Inc., as owner of all 12 units in Area 2 hereby reconfigure, relocate and reallocate the units in Area 2 of the condominium as follows:
 - a. Units 5.01, 5.02, 6.01 and 6.02 are reconfigured, relocated and reallocated as Development Envelope A at the location within Area 2 of the condominium, which is depicted on the annexed Exhibit 1. Condominium units 5.01, 5.02, 6.01 and 6.02 are situated within Development Envelope A on Exhibit 1.
 - b. Units 7.01, 7.02, 8.01 and 8.02 are reconfigured, relocated and reallocated as Development Envelope B at the location within Area 2 of the condominium, which is depicted on the annexed Exhibit 1. Condominium units 7.01, 7.02, 8.01 and 8.02, are situated within Development Envelope B on Exhibit 1.
 - c. Units 9.01, 9.02, 10.01 and 10.02 are reconfigured, relocated and reallocated as Development Envelope C at the location within Area 2 of the Condominium, which is depicted on the annexed Exhibit 1. Condominium units 9.01, 9.02, 10.01 and 10.02, are situated within Development Envelope C on Exhibit 1.
 - d. The annexed Exhibits 1 and 2 are incorporated herein by reference as a part of this instrument. All language on Exhibits 1 and 2 are a part of this Eighth Amendment.
3. The terms and provisions of this Eighth Amendment:
 - a. Shall only affect the twelve unitary ownership units and the other property of the condominium which is situated in Area 2 of the condominium, which are under the jurisdiction of the Telemark Pointe Unitary Owners Association ("TPUOA").
 - b. Shall not affect or apply to the eight-timeshare ownership or unitary ownership units and the other property of the condominium which is situated in Area 1 of the condominium which is under the jurisdiction of the Telemark Pointe Proprietary Owners Association, Inc. ("TPPOA")

Except as specifically set forth herein, the terms and provisions of the Seventh Amendment to and Restatement of Declaration of Condominium of Telemark Pointe Condominium recorded on July 13, 2018 as Document No. 2018R-573662 are ratified and confirmed.

Telemark Pointe Unit Owners Association, Inc., a Wisconsin Unincorporated Non-profit Association Under Chapter 184 Wis. Stats.

Dated: 5-25-21

By: Richard B. Short
Richard B. Short, President

Personally came before me this 25 day of
May, 2021 the above-named
Richard B. Short to me known to have
executed the foregoing document and
acknowledged the same.

Lauren Wubbena
Signature of Notary

Lauren Wubbena
Printed Name of Notary
Notary Public, State of Missouri
My Commission expires: 4-9-22

Dated: July 8, 2021
Attest: Matthew F. Anich
Matthew F. Anich, Secretary

Personally came before me this 8th day of July
~~May~~, 2021 the above-named
Matthew F. Anich to me known to have
executed the foregoing document and
acknowledged the same.

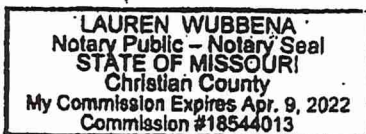
Stephanie A. Tutor
Signature of Notary

Stephanie A. Tutor
Printed Name of Notary
Notary Public, State of Wisconsin
My Commission Expires: 12/18/22

Palace View, Inc., a Missouri Corporation, Sole Owner of Telemark Pointe Condominium Unitary Units
5.01, 5.02, 6.01, 6.02, 7.01, 7.02, 8.01, 8.02, 9.01, 9.02, 10.01 and 10.02

Dated: 5-25-21
By: Richard B. Short
Richard B. Short, President

Attest: Matthew F. Anich
Matthew F. Anich, Secretary



IT TAKES A VILLAGE TO RAISE A CHILD
IT TAKES ONE OF US TO PROTECT THE
ONE WHO'S NEXT TO YOU.

SURVEY BY: JASON R. NELSON - PLS NO. 3092

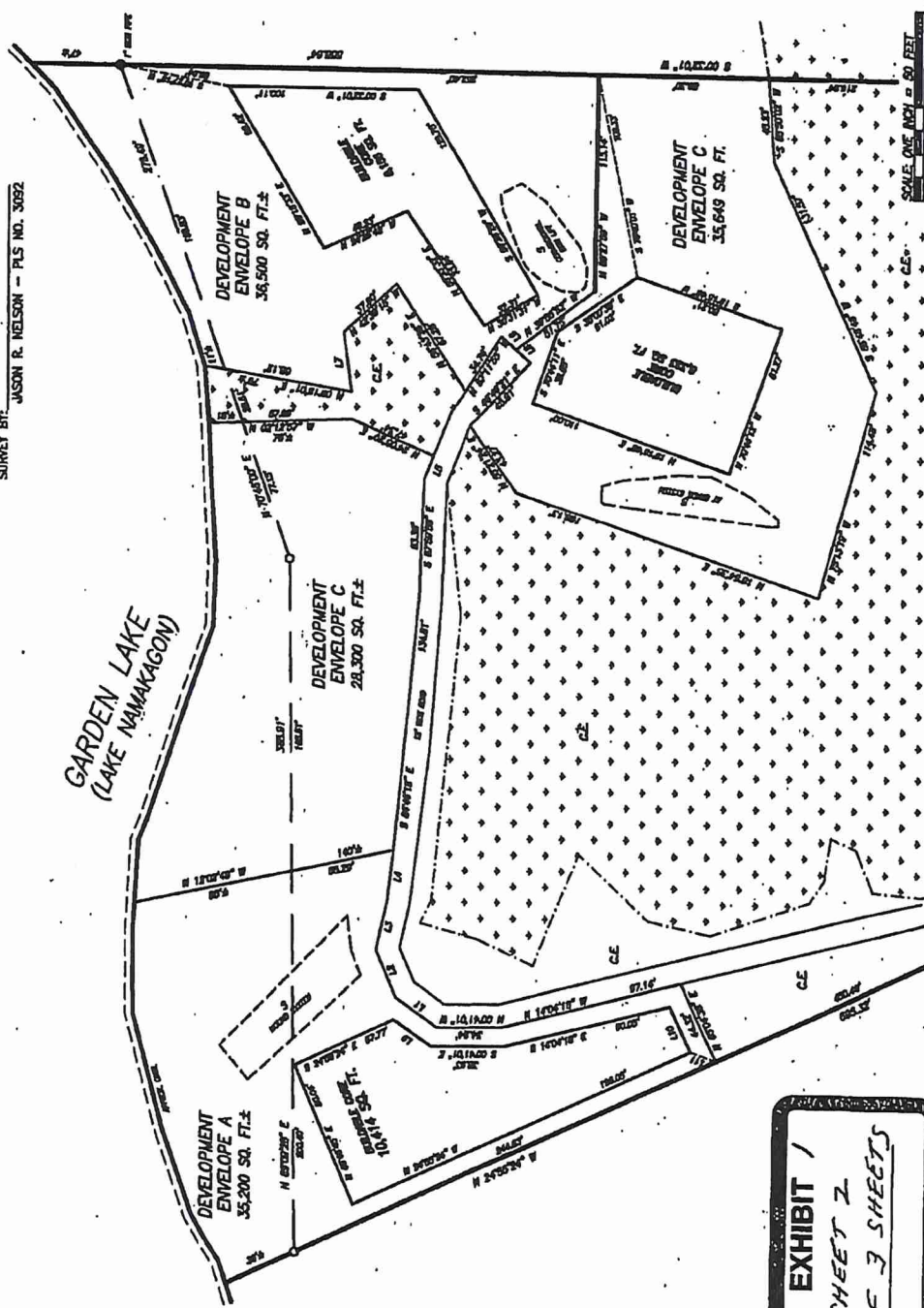


EXHIBIT /
SHEET 2
OF 3 SHEETS

LINE DATA		DISTANCE	
LINE	ENDPOINT	E	N
11	370745.5	27.01	
12	697222.8	23.97	
13	77729.33	38.33	
14	83711.2	27.25	
15	89241.48	1.05	
16	470343.5	0.03	
17	878735.3	31.31	
18	470343.5	10.23	
19	370745.5	24.43	
20	697222.8	26.05	
21	370745.5	14.22	

CURVE	ARC	POOLS	POLY	CHORD BEARING	CHORD BEARING CORRECTION
C1		10.17%	10.17%	10.17%	10.17%

[illegible]

CLARK POLICE NEW INC.
JOS. MOL. #21
SOLD 1" = 50'
FILE PLANS/SECT'S -
AND TELEPHONE POLE

**HEART OF THE NORTH
SURVEYING OF HAYWARD INC.**

FOR 713/331-2423
FOR 713/331-6644
JAMES A. GARY AND
MARGARET H. GARY

FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF
SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON,
BAYFIELD COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, JASON R. NELSON, PROFESSIONAL LAND SURVEYOR IN THE STATE OF WISCONSIN, HEREBY CERTIFY:

THAT ON THE ORDER OF PALACE VIEW INC., I HAVE SURVEYED AND MAPPED THE FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM, LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON, BAYFIELD COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

TO LOCATE THE POINT OF BEGINNING, COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 13 AND RUN N 63°10'11" E, 558.05 FEET; THENCE N 59°32'13" E, 907.84 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF C.T.H. W AND THE POINT OF BEGINNING.

THENCE FROM SAID POINT OF BEGINNING BY METES AND BOUNDS:

ON SAID NORTHERLY RIGHT OF WAY LINE, S 84°18'34" W, 148.11 FEET; THENCE SOUTHWESTERLY, 223.37 FEET ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 3094.30 FEET, A CENTRAL ANGLE OF 04°28'13", AND A CHORD WHICH BEARS S 61°55'57" W AND MEASURES 223.37 FEET; THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE, N 24°53'24" W, 685.32 FEET TO A MEANDER CORNER WHICH IS S 24°53'24" E, 30 FEET, MORE OR LESS, FROM THE ORDINARY HIGH WATER LINE (CHWL) OF GARDEN LAKE; THENCE ON A MEANDER LINE NEAR SAID CHWL, N 89°00'28" E, 385.91 FEET; THENCE N 70°45'00" E, 376.49 FEET TO A MEANDER CORNER WHICH IS S 60°32'01" W, 47 FEET, MORE OR LESS, FROM SAID CHWL; THENCE LEAVING SAID MEANDER LINE, S 00°32'01" W, 558.04 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 315,300 SQUARE FEET, MORE OR LESS, WHICH IS 7.24 ACRES, MORE OR LESS, INCLUDING THAT LAND LYING BETWEEN THE MEANDER LINE AND THE CHWL OF GARDEN LAKE AND THE EXTENSION OF THE LOT LINES TO SAID CHWL.

SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS OF WAY OF RECORD OR USE, IF ANY;

THAT THIS PLAT IS A TRUE REPRESENTATION OF THE FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM AND THE IDENTIFICATION OF EACH UNIT AND COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT;

THAT I HAVE FULLY COMPLIED WITH CHAPTER 70.00 OF THE WISCONSIN STATUTES, CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE BAYFIELD COUNTY SUBDIVISION CONTROL ORDINANCES IN MAKING SAID SURVEY AND PLAT; AND

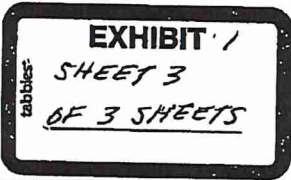
THAT SAID SURVEY AND PLAT ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JASON R. NELSON PLS NO. 3082

BAYFIELD COUNTY PLANNING AND ZONING APPROVAL

THIS CONDOMINIUM PLAT IS HEREBY APPROVED BY THE BAYFIELD COUNTY PLANNING AND ZONING DEPARTMENT.

ROBERT SCHERBAUM DATED THIS _____ DAY OF _____, 2021
PLANNING AND ZONING DIRECTOR



CERTIFICATE

CLIENT: PALACE VIEW INC.
JOB NO.: 181
SHEET 3 OF 3 SHEETS
FILED: PALMIST/SECT 13
ACQ: TELEMARKE POINTE

HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.

PL 714/ND-012
REG 714/ND-011
NORTH HAYWARD, WISCONSIN
JANUARY 15, 2021
WWW.HEARTOFTHENORTH.COM

Bayfield County Register of Deeds

Document # 2021R-369611

Page 7 of 8

**EXHIBIT 2 TO EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM OF TELEMARKE POINTE CONDOMINIUM,
a Wisconsin Condominium**

1. Each of Development Envelopes A, B and C:

- a) Consists of 4 condominium units, all of which shall be owned by the same unit owner;
- b) Contains a buildable core within which the unit owner may place, construct, or erect one single-family residence along with a garage for the single-family residence situated in that Development Envelope;
- c) Contains a designated location within which the unit owner may install a code-compliant waste disposal system for the single-family residence situated within that Development Envelope;
- d) Benefits from a limited common element which is reserved for the exclusive use of the unit owner who owns the units in that Development Envelope;

2. As to each of Development Envelopes A, B and C:

- a) No residential structure or garage may be placed, constructed, or erected except within the boundaries of the buildable core in that individual Development Envelope;
- b) No waste disposal system may be installed except within the boundaries of the designated location for the installation of such a system within that Development Envelope.
- c) The locations of the buildable core, waste disposal system and limited common elements of each Development Envelope are shown on Exhibit 1.
- d) A well may be installed within the Development Envelope.

3. None of the twelve units situated in Area 2 of the Condominium is subject to a mortgage or an equivalent security interest.

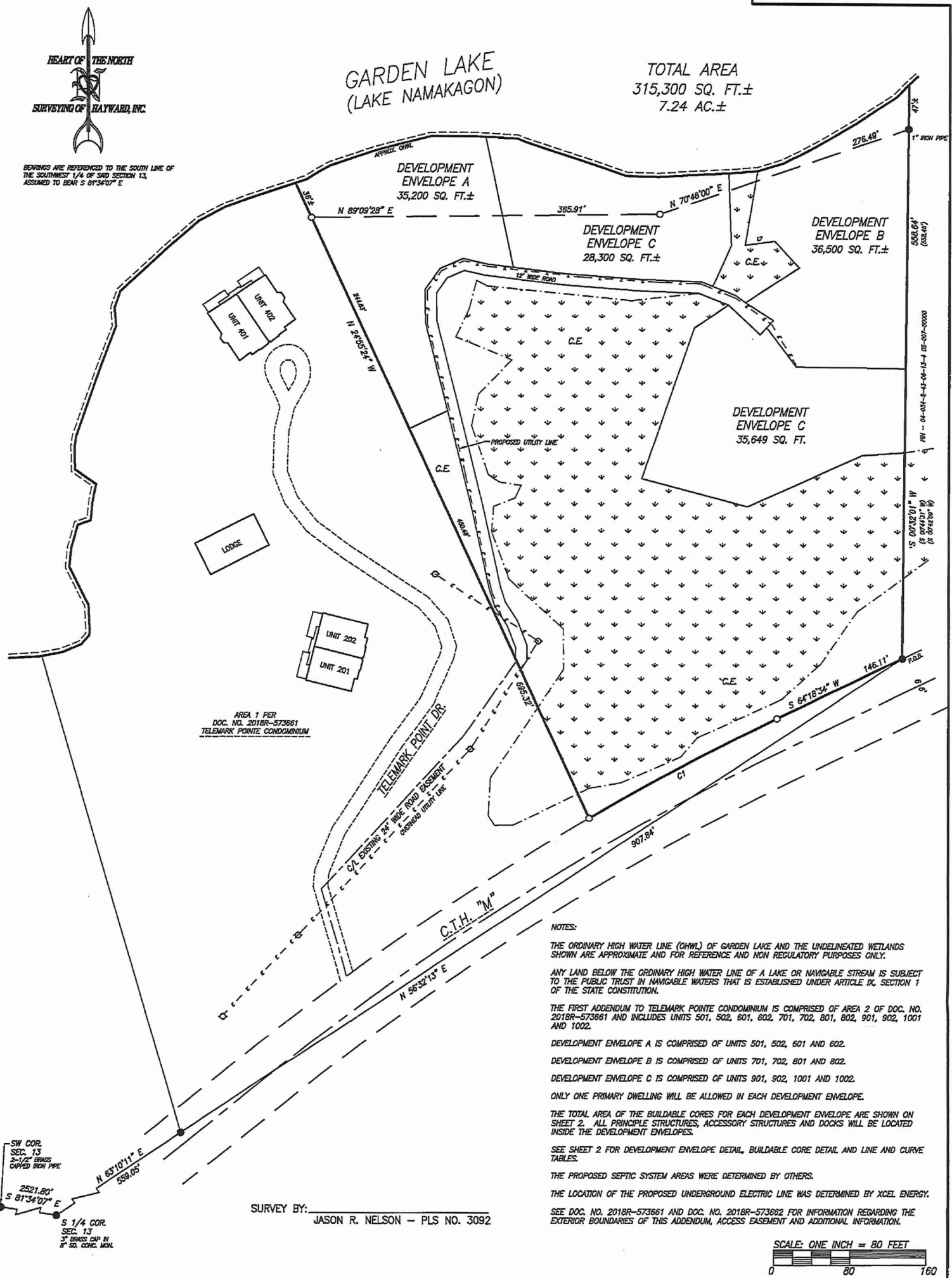
4. The required consents and approvals for this Eighth Amendment To Declaration Of Condominium were received.

Condition LUP, upon completion submit/record Amendment to
Condo plat showing location of units

Vol. 2 CP
Pg. 160-162

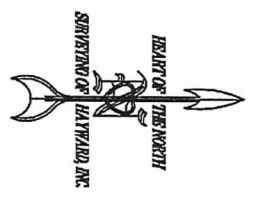
2021R-589812

FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF
SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON,
BAYFIELD COUNTY, WISCONSIN



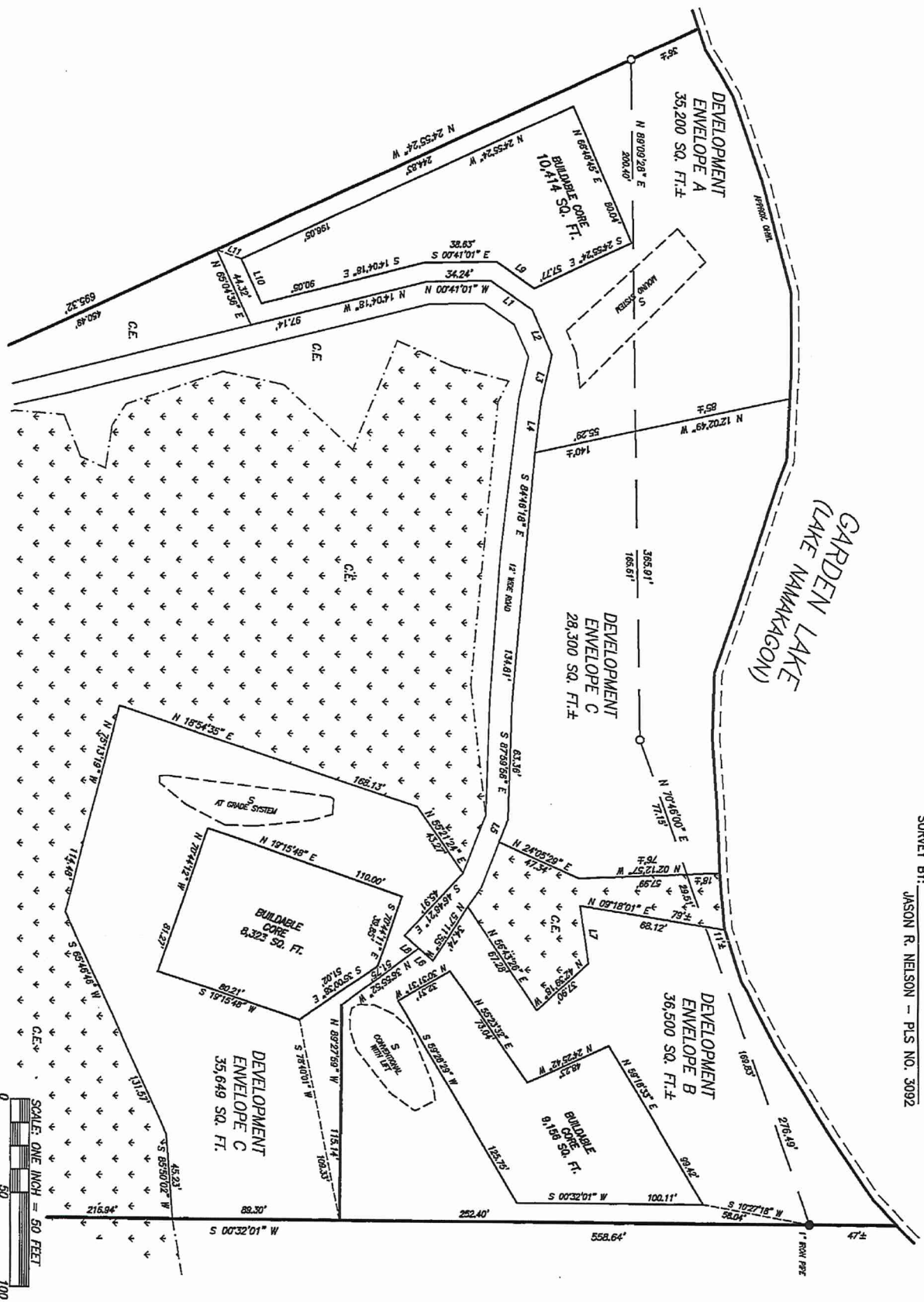
LEGEND ● FOUND 1" IRON PIPE, UNLESS NOTED ○ SET 1"(00) X 18" IRON PIPE () RECORDED DATA ↓ APPROX. UNDELINEATED WETLANDS	POSSIBLE FUTURE SEPTIC AREA S C.E. COMMON ELEMENT ○ UTILITY POLE	CLIENT: PALACE VIEW INC. JOB NO.: H21 SCALE: 1" = 80' SHEET 1 OF 3 SHEETS FIELD WORK COMPLETED: 3/25/21	FILE: T43NR6W/SEC13 ACAD: TELEMARKE POINTE	HEART OF THE NORTH SURVEYING OF HAYWARD, INC. PH: 715/634-2442 FAX: 715/634-6444 10339 N. DUFFY ROAD HAYWARD, WI 54943 WWW.HOONSURVEYING.COM
---	--	--	--	---

FIRST ADDENDUM TO TELEMARK PONTNE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 13, T. 43 N.,
R. 6 W., IN THE TOWN OF NAMAKAGON, BAYFIELD COUNTY, WISCONSIN



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF
THE QUINCY 1/4 OF SW SECTION 13,
ASSUMED TO BE S 91°34'07" E

SURVEY BY: JASON R. NELSON - PLS NO. 3092



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 35°00'44" E	27.01'
L2	N 66°28'28" E	28.57'
L3	S 77°22'33" E	28.32'
L4	S 83°11'12" E	27.25'
L5	S 88°41'48" E	13.04'
L6	N 42°03'42" E	10.23'
L7	S 81°52'33" W	31.31'
L8	N 42°03'41" E	10.23'
L9	S 35°00'43" W	24.42'
L10	S 85°04'38" W	24.05'
L11	N 20°04'35" E	14.14'

CURVE TABLE

CURVE	ARC	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	223.37'	2884.38'	04°25'13"	S 61°55'57" W	223.37'

LEGEND
● FOUND 1" ROUN PPG. (MISS NOTED)
○ SET 1700' X 16" ROUN PPG.
() RECORDED DATA

CLIENT: PALACE VIEW INC.
JOB NO.: 121
SCALE: 1" = 50'
SHEET 2 OF 3 SHEETS

HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.

SCALE: ONE INCH = 50 FEET
0 50 100
RE 716/631-3412
FAX 716/631-6444
10329 N. LARRY ROAD
MANNING, N. DAKOTA
WWW.HAYWARDINC.COM

FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF
SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON,
BAYFIELD COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, JASON R. NELSON, PROFESSIONAL LAND SURVEYOR IN THE STATE OF WISCONSIN, HEREBY CERTIFY:

THAT ON THE ORDER OF PALACE VIEW INC., I HAVE SURVEYED AND MAPPED THE FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM, LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON, BAYFIELD COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

TO LOCATE THE POINT OF BEGINNING, COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 13 AND RUN N 63°10'11" E, 559.05 FEET; THENCE N 56°32'13" E, 907.84 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF C.T.H. M AND THE POINT OF BEGINNING.

THENCE FROM SAID POINT OF BEGINNING BY METES AND BOUNDS:

ON SAID NORTHERLY RIGHT OF WAY LINE, S 64°18'34" W, 146.11 FEET; THENCE SOUTHWESTERLY, 223.37 FEET ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 2884.38 FEET, A CENTRAL ANGLE OF 04°26'13", AND A CHORD WHICH BEARS S 61°55'57" W AND MEASURES 223.31 FEET; THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE, N 24°55'24" W, 695.32 FEET TO A MEANDER CORNER WHICH IS S 24°55'24" E, 36 FEET, MORE OR LESS, FROM THE ORDINARY HIGH WATER LINE (OHWL) OF GARDEN LAKE; THENCE ON A MEANDER LINE NEAR SAID OHWL, N 89°09'28" E, 365.91 FEET; THENCE N 70°46'00" E, 276.49 FEET TO A MEANDER CORNER WHICH IS S 00°32'01" W, 47 FEET, MORE OR LESS, FROM SAID OHWL; THENCE LEAVING SAID MEANDER LINE, S 00°32'01" W, 558.64 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 315,300 SQUARE FEET, MORE OR LESS, WHICH IS 7.24 ACRES, MORE OR LESS, INCLUDING THAT LAND LYING BETWEEN THE MEANDER LINE AND THE OHWL OF GARDEN LAKE AND THE EXTENSION OF THE LOT LINES TO SAID OHWL;

SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS OF WAY OF RECORD OR USE, IF ANY;

THAT THIS PLAT IS A TRUE REPRESENTATION OF THE FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM AND THE IDENTIFICATION OF EACH UNIT AND COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT;

THAT I HAVE FULLY COMPLIED WITH CHAPTER 703.00 OF THE WISCONSIN STATUTES, CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE BAYFIELD COUNTY SUBDIVISION CONTROL ORDINANCES IN MAKING SAID SURVEY AND PLAT; AND

THAT SAID SURVEY AND PLAT ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JASON R. NELSON PLS NO. 3092

BAYFIELD COUNTY PLANNING AND ZONING APPROVAL

THIS CONDOMINIUM PLAT IS HEREBY APPROVED BY THE BAYFIELD COUNTY PLANNING AND ZONING DEPARTMENT.

ROBERT SCHIERMAN DATED THIS _____ DAY OF _____, 2021
PLANNING AND ZONING DIRECTOR

CERTIFICATE

CLIENT: PALACE VIEW INC.
JOB NO.: H21 FILE: T43NR6W/SEC13
ACAD: TELEMARKE POINTE
SHEET 3 OF 3 SHEETS

HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.

PH: 715/834-2442
FAX: 715/834-6444
10330 N. DUFFY ROAD
HAYWARD, WI. 54843
WWW.HOINSURVEYING.COM

©

Real Estate Bayfield County Property Listing

Today's Date: 8/22/2022

Property Status: Current

Created On: 6/10/2021 11:17:19 AM

Description

Updated: 10/14/2021

Tax ID:38513

PIN:04-034-2-43-06-13-4 00-644-52000

Legacy PIN:

Map ID:

Municipality:(034) TOWN OF NAMAKAGON

STR:S13 T43N R06W

Description:UNIT 5.02 WITHIN AREA 2 TELEMAR
POINTE CONDOMINIUM PAR IN GOVT
LOT 6 & SW SE & NW NE DESC IN DOC
2021R-591218

Recorded Acres:0.000

Calculated Acres:0.000

Lottery Claims:0

First Dollar:No

ESN:

Tax Districts

Updated: 6/10/2021

1STATE

04COUNTY

034TOWN OF NAMAKAGON

041491SCHL-DRUMMOND

001700TECHNICAL COLLEGE

Recorded Documents

Updated: 10/26/2012

CONDOMINIUM DEED

Date Recorded: 9/30/20212021R-591218

AMENDMENT TO CONDOMINIUM DECLARATION

Date Recorded: 7/13/20182018R-573662

FINDINGS OF FACT AND CONCLUSIONS OF LAW

Date Recorded: 7/13/20182018R-573661

SHERIFFS DEED ON FORECLOSURE

Date Recorded: 4/30/20122012R-543558 1081-725

HISTORY

Expand All History

White=Current Parcels

Pink=Retired Parcels

Tax ID: 36430

Pin: 04-034-2-43-06-13-4 00-644-50000

38513

This Parcel

Parents

Children

Ownership

Updated: 10/14/2021

RICHARD L JR & STEPHANIE M
LONGNECKER

ARDEN HILLS MN

Billing Address:

RICHARD L JR & STEPHANIE
M LONGNECKER
2029 THOM COURT
ARDEN HILLS MN 55112

Mailing Address:

RICHARD L JR & STEPHANIE
M LONGNECKER
2029 THOM COURT
ARDEN HILLS MN 55112

Site Address

* indicates Private Road

N/A

Property Assessment

Updated: 3/25/2022

2022 Assessment Detail

Code	Acres	Land	Imp.
G2-COMMERCIAL	1.200	38,400	0

2-Year Comparison

	2021	2022	Change
Land:	0	38,400	100.0%
Improved:	0	0	0.0%
Total:	0	38,400	100.0%

Property History

Parent Properties

04-034-2-43-06-13-4 00-644-50000

Tax ID

36430

Town, City, Village, State or Federal
Permits May Also Be Required
**SHORELAND/FLOODPLAIN
IMPERVIOUS SURFACE CALCUATIONS**

LAND USE – **X**
SANITARY – **22-158S**
SIGN –
SPECIAL –
CONDITIONAL –
BOA –

No. **22-0298** Tax ID: **38513** Issued To: **Richard & Stephanie Longnecker**

BAYFIELD COUNTY
PERMIT

**WEATHERIZE AND POST THIS PERMIT
ON THE PREMISES DURING CONSTUCTION**

SE SE and
Location: **NW** ¼ of **NE** ¼ Section **13** Township **43** N. Range **6** W. Town of **Namakagon**

Unit 5.02 within Area 2 Telemark Point Condominium Par in
Gov't Lot **6** Lot Block Subdivision CSM#
In Doc 2021R-591218

Residential Structure in R-RB Zoning District
For: **[2-Story],** **Residence on Foundation** (RV Garage, 2-Car Garage, Master Bedroom, Rear Porch, Utility, Mud Room, Powder Room, Living Room, Kitchen); **2nd Story** (Master Bath, 3-Bedrooms, 2-Bathrooms, Office) (78' x 54'); with Front **Porch** (11'x 6'); at a Height of 28'.5"
(Disclaimer): Any future expansions or development would require additional permitting.

Condition(s): **SEE BACK OF THIS CARD**

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

NOTE: This permit expires one year from date of issuance if the authorized construction work or land use has not begun.

Changes in plans or specifications shall not be made without obtaining approval. This permit may be void or revoked if any of the application information is found to have been misrepresented, erroneous, or incomplete.

This permit may be void or revoked if any performance conditions are not completed or if any prohibitory conditions are violated.

Mckenzie Slack, AZA

Authorized Issuing Official

October 28, 2022

Date

CONDITIONS:

Meet and maintain setbacks including eaves & overhangs. To be constructed per plan. A Uniform Dwelling Code (UDC) Permit from the locally contracted UDC Inspection Agency must be obtained prior to the start of construction. Town/State/DNR permits may be required.

Upon completion, submit /record amendment to Condo plat sharing located of Units.

SUBMIT: COMPLETED APPLICATION, TAX STATEMENT AND FEE TO:
Bayfield County
Planning and Zoning Depart.
PO Box 58
Washburn, WI 54891
(715) 373-6138

APPLICATION FOR PERMIT
BAYFIELD COUNTY, WISCONSIN

RECEIVED
Date Stamp (Received)

OCT 03 2022

Bayfield Co.
Planning and Zoning Agency

Permit #:	22-1312
Date:	10-28-2022
Amount Paid:	1,920 - 10-28-22
Other:	Imp Surf - \$
Refund:	

INSTRUCTIONS: No permits will be issued until all fees are paid.
Checks are made payable to: Bayfield County Zoning Department.

DO NOT START CONSTRUCTION UNTIL ALL PERMITS HAVE BEEN ISSUED TO APPLICANT.

Original Application MUST be submitted

FILL OUT IN INK (NO PENCIL)

TYPE OF PERMIT REQUESTED	<input checked="" type="checkbox"/> LAND USE	<input type="checkbox"/> SANITARY	<input type="checkbox"/> PRIVY	<input type="checkbox"/> CONDITIONAL USE	<input type="checkbox"/> SPECIAL USE	<input type="checkbox"/> B.O.A.	<input type="checkbox"/> OTHER
Owner's Name:	STEPHEN & JACQUELINE BRUSS		Mailing Address:	16020 117 TH AVEN		City/State/Zip:	MAPLE GROVE, MN 55369
Address of Property:	XXXX TELEMARK POINTE RD		City/State/Zip:	MAPLE, WI 54821		Telephone:	612-290-7415
Email: (print clearly)	stevebruss@outlook.com						
Contractor:	HILL CONSTRUCTION, LLC		Contractor Phone:	715-634-6750		Plumber:	BURCH PLUMBING
Authorized Agent: (Person Signing Application on behalf of Owner(s))			Agent Phone:			Agent Mailing Address (include City/State/Zip):	
PROJECT LOCATION	Legal Description: (Use Tax Statement)		Tax ID#	38516 - 38519		Recorded Document: (Showing Ownership)	2021R - 590746
1/4, 1/4	Gov't Lot	Lot(s)	CSM	Vol & Page	CSM Doc #	Lot(s) #	Block #
Section 13	Township 43	N, Range 06	W	Town of:	NAMAKAGON		Lot Size 35,200

<input checked="" type="checkbox"/> Shoreland	<input type="checkbox"/> Is Property/Land within 300 feet of River, Stream (incl. Intermittent) Creek or Landward side of Floodplain? If yes---continue →	Distance Structure is from Shoreline: _____ feet	Is your Property in Floodplain Zone? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Are Wetlands Present? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input checked="" type="checkbox"/> Is Property/Land within 1000 feet of Lake, Pond or Flowage If yes---continue →	Distance Structure is from Shoreline: 200 feet			
<input type="checkbox"/> Non-Shoreland				

Value at Time of Completion * include donated time & material	Project	Project # of Stories	Project Foundation	Total # of bedrooms on property	What Type of Sewer/Sanitary System(s) Is on the property or Will be on the property?	Type of Water on property
\$640,000	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> 1-Story	<input type="checkbox"/> Basement	<input type="checkbox"/> 1	<input type="checkbox"/> Municipal/City	<input type="checkbox"/> City
	<input type="checkbox"/> Addition/Alteration	<input type="checkbox"/> 1-Story + Loft	<input checked="" type="checkbox"/> Foundation	<input type="checkbox"/> 2	<input checked="" type="checkbox"/> (New) Sanitary Specify Type: _____	<input checked="" type="checkbox"/> Well
	<input type="checkbox"/> Conversion	<input checked="" type="checkbox"/> 2-Story	<input type="checkbox"/> Slab	<input type="checkbox"/> 3	<input type="checkbox"/> Sanitary (Exists) Specify Type: _____	<input type="checkbox"/>
	<input type="checkbox"/> Relocate (existing bldg)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> Privy (Pit) or <input type="checkbox"/> Vaulted (min 200 gallon)	<input type="checkbox"/>
	<input type="checkbox"/> Run a Business on Property	<input type="checkbox"/>	<input checked="" type="checkbox"/> Use	<input type="checkbox"/> None	<input type="checkbox"/> Portable (w/service contract)	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> Year Round	<input type="checkbox"/>	<input type="checkbox"/> Compost Toilet	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> None	<input type="checkbox"/>	

Existing Structure: (if addition, alteration or business is being applied for)	Length:	Width:	Height:
Proposed Construction: (overall dimensions)	Length: 48	Width: 41	Height: 35

Proposed Use	✓	Proposed Structure	Dimensions	Square Footage
<input checked="" type="checkbox"/> Residential Use	<input checked="" type="checkbox"/>	Principal Structure (first structure on property)	(40 X 32)	1280
	<input type="checkbox"/>	Residence (i.e. cabin, hunting shack, etc.)	(X)	
		with Loft	(X)	
		with a Porch	(13 X 9)	117
		with (2 nd) Porch	(10 X 19)	190
		with a Deck	(38 X 5)	190
<input type="checkbox"/> Commercial Use		with (2 nd) Deck	(X)	
		with Attached Garage	(28 X 28)	784
<input type="checkbox"/> Municipal Use	<input type="checkbox"/>	Bunkhouse w/ (<input type="checkbox"/> sanitary, or <input type="checkbox"/> sleeping quarters, or <input type="checkbox"/> cooking & food prep facilities)	(X)	
	<input type="checkbox"/>	Mobile Home (manufactured date) _____	(X)	
	<input type="checkbox"/>	Addition/Alteration (explain) _____	(X)	
	<input type="checkbox"/>	Accessory Building (explain) _____	(X)	
	<input type="checkbox"/>	Accessory Building Addition/Alteration (explain) _____	(X)	
	<input type="checkbox"/>	Special Use: (explain) _____	(X)	
	<input type="checkbox"/>	Conditional Use: (explain) _____	(X)	
	<input type="checkbox"/>	Other: (explain) _____	(X)	

FAILURE TO OBTAIN A PERMIT or STARTING CONSTRUCTION WITHOUT A PERMIT WILL RESULT IN PENALTIES
I (we) declare that this application (including any accompanying information) has been examined by me (us) and to the best of my (our) knowledge and belief it is true, correct and complete. I (we) acknowledge that I (we) am (are) responsible for the detail and accuracy of all information I (we) am (are) providing and that it will be relied upon by Bayfield County in determining whether to issue a permit. I (we) further accept liability which may be a result of Bayfield County relying on this information I (we) am (are) providing in or with this application. I (we) consent to county officials charged with administering county ordinances to have access to the above described property at any reasonable time for the purpose of inspection.

Owner(s): Steph & Jacqu
(If there are Multiple Owners listed on the Deed All Owners must sign or letter(s) of authorization must accompany this application)

Date: 9/28/2022

Authorized Agent: _____ (See Note below)
(If you are signing on behalf of the owner(s) a letter of authorization must accompany this application)

Date: _____

Address to send permit: 15988 US HWY 63 HAYWARD, WI 54843

Attach
Copy of Tax Statement

HILL CONSTRUCTION

If you recently purchased the property send your Recorded Deed

Turn Over

In the box below: **Draw or Sketch your Property** (regardless of what you are applying for)

- (1) Show Location of:

(2) Show / Indicate:

(3) Show Location of (*):

(4) Show:

(5) Show:

(6) Show any (*):

(7) Show any (*):
- Proposed Construction

North (N) on Plot Plan

(*) Driveway and (*) Frontage Road (Name Frontage Road)

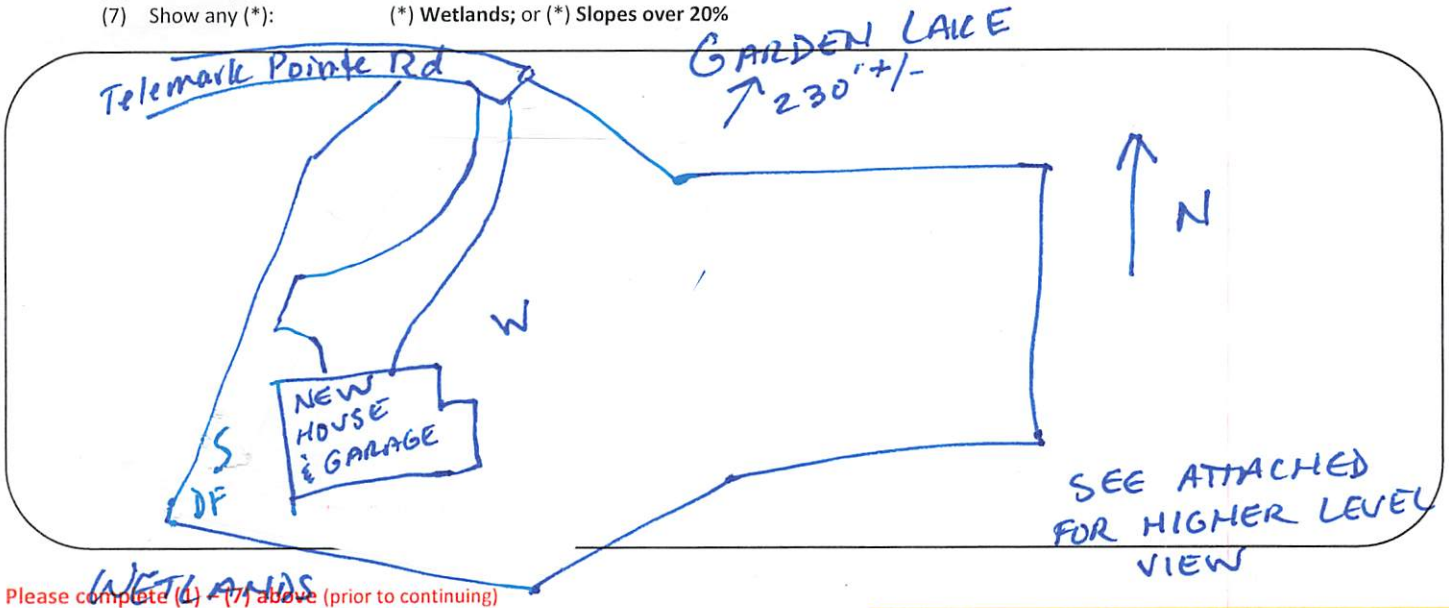
All Existing Structures on your Property

(*) Well (W); (*) Septic Tank (ST); (*) Drain Field (DF); (*) Holding Tank (HT) and/or (*) Privy (P)

(*) Lake; (*) River; (*) Stream/Creek; or (*) Pond

(*) Wetlands; or (*) Slopes over 20%

Fill Out in Ink – NO PENCIL



Please complete (1) – (7) above (prior to continuing)

Changes in plans must be approved by the Planning & Zoning Dept.

- (8) Setbacks: (measured to the closest point)

Description	Setback Measurements		Description	Setback Measurements	
Setback from the Centerline of Platted Road	75	Feet	Setback from the Lake (ordinary high-water mark)	230	Feet
Setback from the Established Right-of-Way		Feet	Setback from the River, Stream, Creek		Feet
			Setback from the Bank or Bluff		Feet
Setback from the North Lot Line	40	Feet			
Setback from the South Lot Line	30	Feet	Setback from Wetland	80	Feet
Setback from the West Lot Line	10	Feet	20% Slope Area on the property	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Setback from the East Lot Line	20	Feet	Elevation of Floodplain		Feet
Setback to Septic Tank or Holding Tank	25	Feet	Setback to Well	10	Feet
Setback to Drain Field		Feet			
Setback to Privy (Portable, Composting)		Feet			

Prior to the placement or construction of a structure within ten (10) feet of the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner or marked by a licensed surveyor at the owner's expense.

Prior to the placement or construction of a structure more than ten (10) feet but less than thirty (30) feet from the minimum required setback, the boundary line from which the setback must be measured must be visible from one previously surveyed corner to the other previously surveyed corner, or verifiable by the Department by use of a corrected compass from a known corner within 500 feet of the proposed site of the structure, or must be marked by a licensed surveyor at the owner's expense.

- (9) Stake or Mark Proposed Location(s) of New Construction, Septic Tank (ST), Drain field (DF), Holding Tank (HT), Privy (P), and Well (W).

NOTICE(s):

All Land Use Permits Expire One (1) Year from the Date of Issuance if Construction or Use has not begun.
For the Construction of New One & Two Family Dwelling: ALL Municipalities Are Required To Enforce The Uniform Dwelling Code.
The local Town, Village, City, State or Federal agencies may also require permits.

If subject property is part of a Condominium Plat, applicant hereby certifies and represents that applicant has all necessary approvals and recorded documents required to complete the project for which this permit is sought including requirements set forth in Wisconsin statutes pertaining to condominium associations, the Declaration of the Condominium Association in which the property is located, and all other rules, regulations and requirements pertaining to that Condominium Association.

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

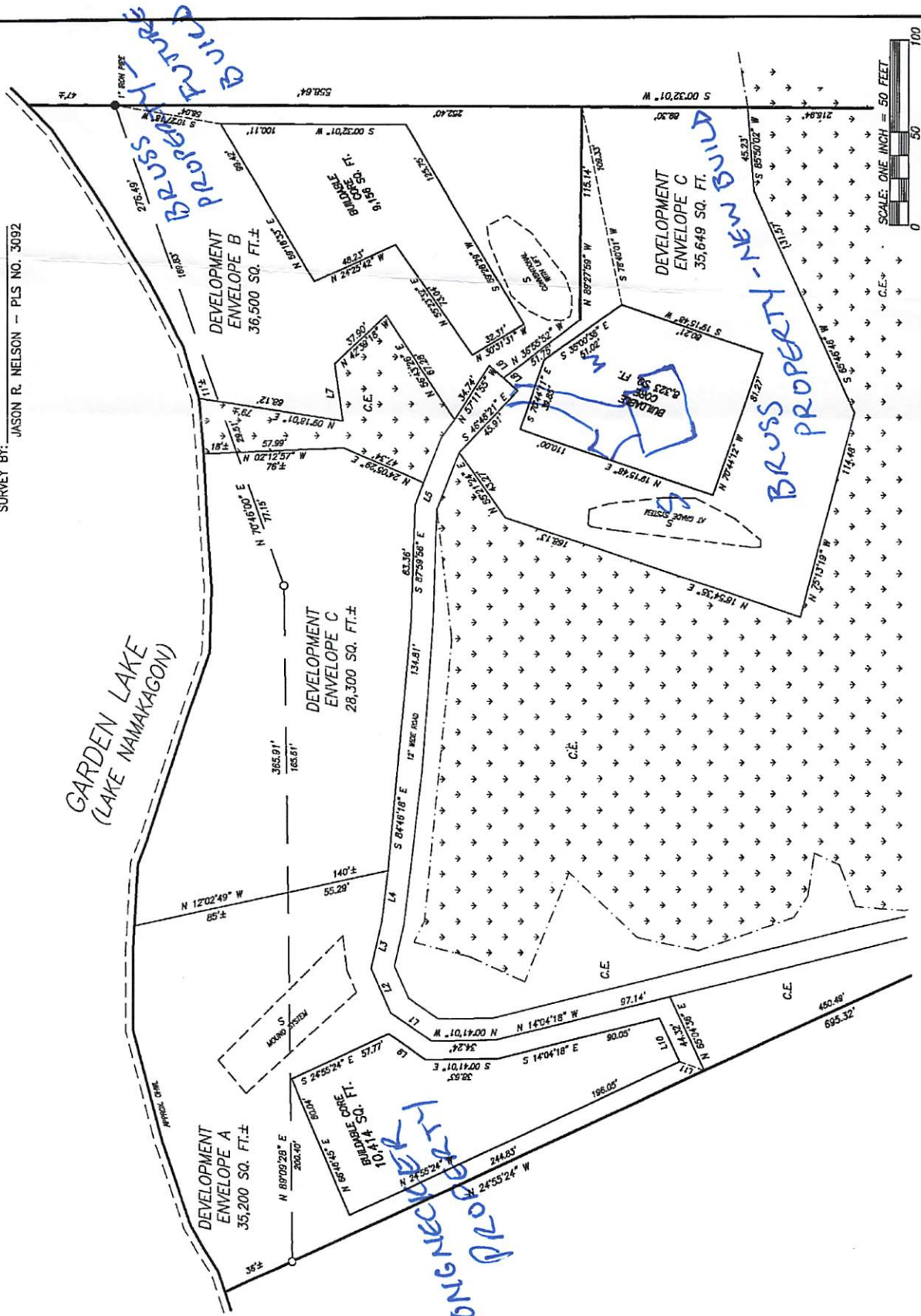
Issuance Information (County Use Only)	Sanitary Number: 22-1403	# of bedrooms: 3	Sanitary Date: 10-28-2022
Permit Denied (Date):	Reason for Denial:		
Permit #: 22-0302	Permit Date: 10-28-2022		
Is Parcel a Sub-Standard Lot	<input type="checkbox"/> Yes (Deed of Record) <input checked="" type="checkbox"/> No	Mitigation Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Parcel in Common Ownership	<input type="checkbox"/> Yes (Fused/Contiguous Lot(s)) <input checked="" type="checkbox"/> No	Mitigation Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is Structure Non-Conforming	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Affidavit Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Affidavit Attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Granted by Variance (B.O.A.)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Previously Granted by Variance (B.O.A.)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Case #:		Case #:	
Was Parcel Legally Created	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Were Property Lines Represented by Owner	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Was Proposed Building Site Delineated	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Was Property Surveyed	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Inspection Record: Staked - confirmed wetland setback	Zoning District (B-2B)		Lakes Classification ()
Date of Inspection: 10/13/2022	Inspected by: MS	Date of Re-Inspection:	
Condition(s): Town, Committee or Board Conditions Attached? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – (if No they need to be attached.)			
To meet all setbacks including eaves and overhangs. To be constructed per plan. WOC permit to be obtained. Town/state/DCR permits may be required. Upon completion submit/record amendment to Condo plat showing location of units.			
Signature of Inspector: Ma SC		Date of Approval: 10/18/22	
Hold For Sanitary: <input type="checkbox"/>	Hold For TBA: <input type="checkbox"/>	Hold For Affidavit: <input type="checkbox"/>	Hold For Fees: <input type="checkbox"/>

FIRST ADDENDUM TO TELEMARK POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 13, T. 43 N.,
R. 6 W., IN THE TOWN OF NAMAKAGON, BAYFIELD COUNTY, WISCONSIN



BEARINGS ARE REFERENCED TO THE SOUTH LINE OF
THE SECTION 13, T. 43 N. & R. 6 W. SECTION 13,
ADJACENT TO THE SW 1/4 OF SECTION 13.

SURVEY BY: JASON R. NELSON - PLS NO. 3092



LINE	BEARING	DISTANCE
L1	N 35°00'44" E	27.01'
L2	N 66°26'28" E	25.57'
L3	S 77°23'33" E	25.32'
L4	S 63°11'12" E	27.25'
L5	S 68°41'48" E	13.04'
L6	N 42°03'42" E	10.23'
L7	S 81°52'33" W	31.31'
L8	N 42°03'41" E	10.23'
L9	S 35°00'43" W	24.42'
L10	S 65°04'36" W	28.05'
L11	N 20°04'35" E	14.14'

CURVE	ARC	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	223.37'	2084.36'	04°26'13"	S 61°05'57" W	223.31'

LEGEND

- FOUND 1" IRON PIPE, UNLESS NOTED
- SET 1/100" x 1/8" IRON PIPE
- () RECORDED DATA

- (S) POSSIBLE FUTURE SETTING AREA
- C.E. COMMON ELEMENT
- APPROX. UNDECLINATED WETLANDS
- UTILITY POLE

CLIENT: PALACE VIEW INC.

JOB NO. 1121
SCALE: 1" = 50'
SHEET 2 OF 3 SHEETS

FILE: T4N43W/SEC13
ACAD: TELEMARK POINTE

HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.

PL 715/834-8442
FAX 715/834-8444
HAYWARD, WI 54940
WWW.HOOFNORTH.COM

Bayfield County, WI



10/13/2022, 2:32:39 PM



Wetlands

Rivers

Flood Plain Boundaries Active Dec 16th, 2011

AE = Base floodplain where base flood elevations are provided.

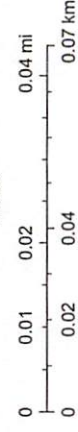
Building Footprint 2015

Road Type

County

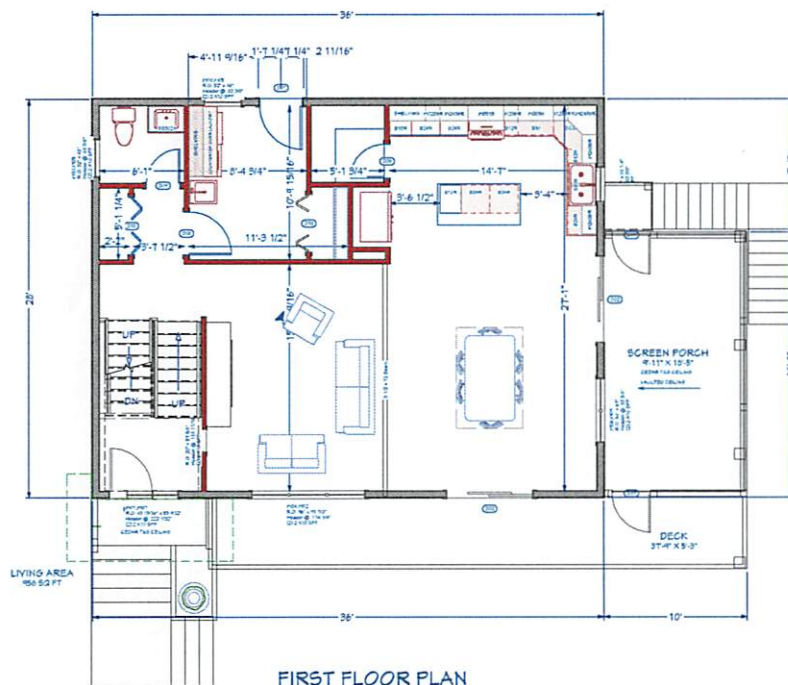
Building

1:966

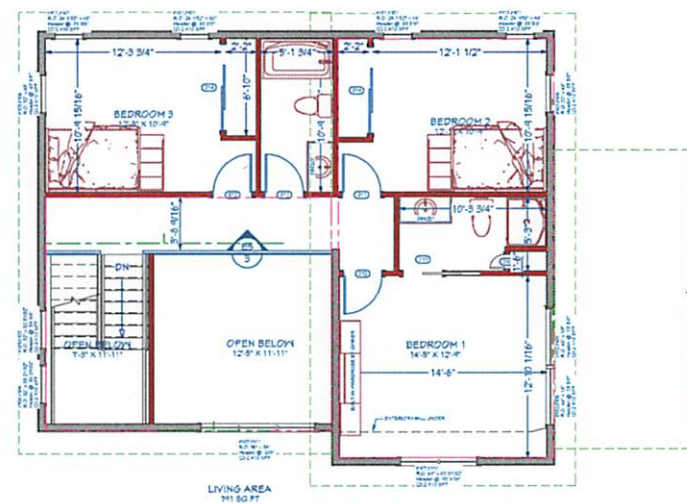


Bayfield County Land Records Department





FIRST FLOOR PLAN
SCALE 1/4" = 1'



SECOND FLOOR PLAN
SCALE 1/4" = 1'

NOTICE:
EVERY EFFORT HAS BEEN MADE TO PRODUCE QUALITY PLANS. IF THESE PLANS ARE TO BE REFERENCED FOR THE PURPOSE OF BUILDING AN ACTUAL STRUCTURE, BUILDER ASSUMES FULL AND SOLE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AGAINST ALL NECESSARY ENGINEERING, COMPLY WITH ALL APPLICABLE LOCAL BUILDING CODES AND ORDINANCES AND TO MAKE ANY AND ALL NECESSARY MODIFICATIONS TO THE PLANS AS REQUIRED.
THESE DRAWINGS ARE THE PROPRIETARY WORK AND PROPERTY OF HILL CONSTRUCTION, LLC. DEVELOPED FOR THE EXCLUSIVE USE OF HILL CONSTRUCTION AND CLIENT AS STATED IN THE DESIGN AGREEMENT. HILL CONSTRUCTION, LLC HEREBY GRANTS THE CLIENT NAMED ON THESE DRAWINGS A FREE LICENSE TO COPY, ALTER AND USE THESE DRAWINGS AS HE THEN SEE FIT FOR THE PURPOSE OF BUILDING THE HOME DEPICTED IN THE DRAWINGS. COPYRIGHT HILL CONSTRUCTION. ALL RIGHTS RESERVED.

BRUSS CABIN
CABLE, WISCONSIN

SAVED:
8/5/2022

Hill Construction LLC
15983 U.S. Highway 63
Hayward, Wisconsin 54843
715-694-6750

SHEET:
2 of 6

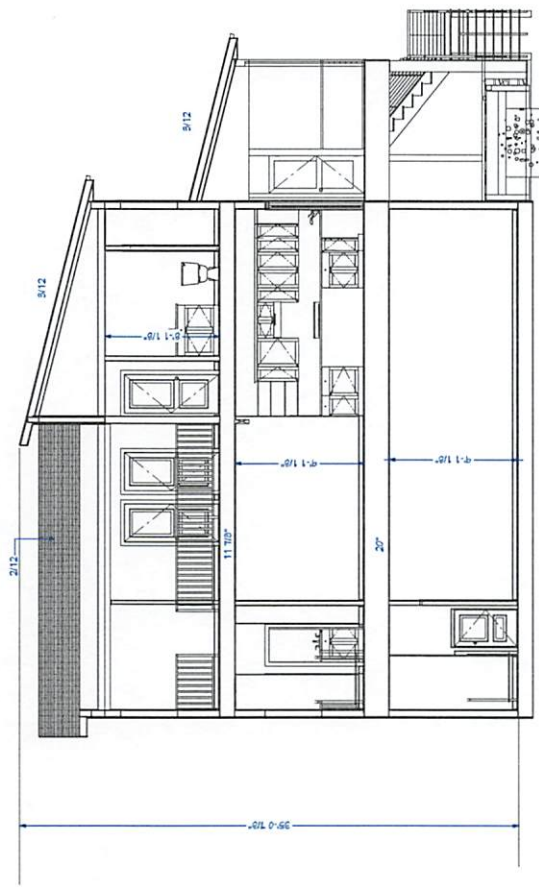
NOTICE: THESE DRAWINGS ARE PREPARED BY THE ARCHITECT FOR THE PURPOSE OF OBTAINING PERMITS AND CONSTRUCTION. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE OR THE MATERIALS USED THEREIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE OR THE MATERIALS USED THEREIN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE OR THE MATERIALS USED THEREIN.

CABLE, WISCONSIN
BRUSS CABIN

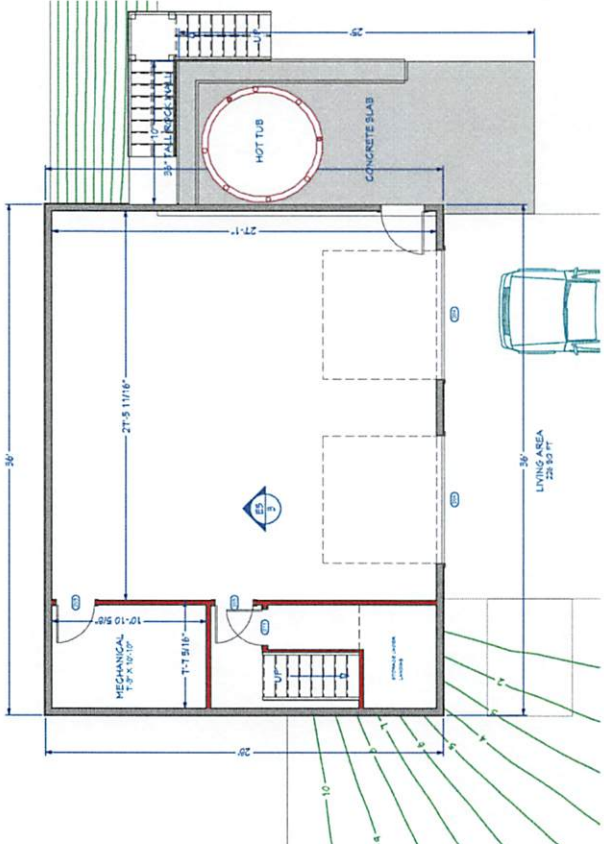
SAVED:
8/5/2022

15988 U.S. Highway 63
Hawthorn, Wisconsin 54843
715-634-6750

SHEET:
3 of 6



NUMBERS	QTY.	COMMENTS	CASEL	FINISHES	TEMPERATURE	TEMPERATURE
P01	4	11'10" X 4'0" HEADERS @ 3'0" ON CENTER	11'10" X 4'0" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P02	1	R.O. 24'0" X 43'14" HEADERS @ 3'0" ON CENTER	R.O. 24'0" X 43'14" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P03	1	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P04	1	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P05	2	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P06	2	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	R.O. 32' X 32' 3/4" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P07	1	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P08	2	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P09	1	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P10	1	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P11	1	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE
P12	1	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	R.O. 43'15'11" X 56'9'32" HEADERS @ 3'0" ON CENTER	TEMPERATURE	TEMPERATURE	TEMPERATURE



BASEMENT FLOOR PLAN
SCALE 1/4" = 1'

NOTICE:
THIS PROJECT HAS
BEEN MADE TO
PROVIDE A
GENERAL
CONCEPT
AND TO BE
USED FOR
THE
PURPOSE OF
OBTAINING
A PERMIT.
IT IS NOT
TO BE USED
FOR ANY
OTHER
PURPOSE.
THE
DESIGNER
ACCEPTS
NO
RESPONSIBILITY
FOR THE
ACCURACY
OR COMPLETION
OF THE
DESIGN.
THE
CLIENT
IS RESPONSIBLE
FOR THE
ACCURACY
AND COMPLETION
OF THE
DESIGN.
THE
DESIGNER
ACCEPTS
NO
RESPONSIBILITY
FOR THE
ACCURACY
OR COMPLETION
OF THE
DESIGN.
THE
CLIENT
IS RESPONSIBLE
FOR THE
ACCURACY
AND COMPLETION
OF THE
DESIGN.

BRUSS CABIN
CABLE, WISCONSIN

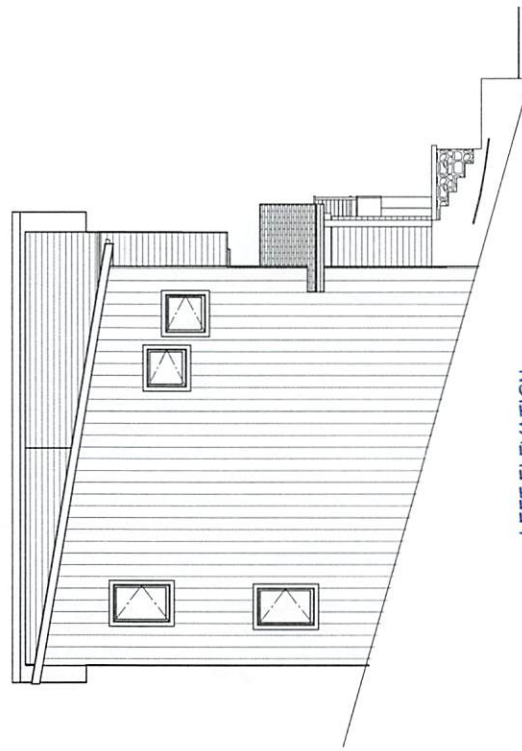
SAVED:
8/5/2022

Hill Construction LLC
15488 U.S. Highway 63
Hayward, Wisconsin 54843
715-634-6750

SHEET:
4 of 6



FRONT ELEVATION
SCALE 1/4" = 1



LEFT ELEVATION
SCALE 1/4" = 1

NOTICE:

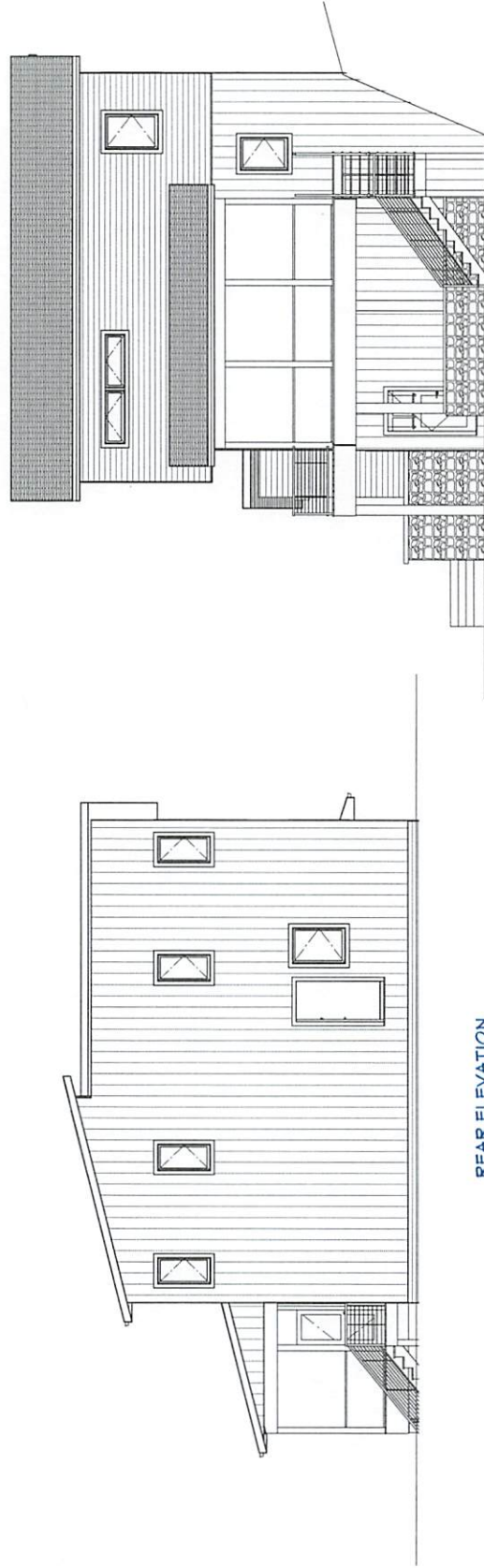
EVERY PROJECT HAS BEEN MADE TO PROTECT QUALITY PLANS. IF YOUR PLANS ARE NOT THE REFERENCE FOR THE PURPOSES OF BUILDING AN ACTUAL STRUCTURE, BUILDER AND HIS FIRM, AND HIS RESPONSIBILITY TO THE ENGINEERING, ARCHITECT, INSURANCE, AND ALL NECESSARY ENGINEERING, COMPLY WITH ALL APPLICABLE LOCAL BUILDING CODES AND ALL NECESSARY PERMITS TO MAKE ANY AND ALL MODIFICATIONS TO THE PLANS AS REQUIRED. THESE CHANGES ARE FOR THE CONSTRUCTION OF ALL CONTRACTORS FOR THE EXCLUSIVE USE OF THE CONSTRUCTION FIRM. THE CLIENT AND ALL NECESSARY AGREEMENTS WILL BE MADE BY THE CLIENT. THESE CHANGES ARE THE PROPERTY OF THE CLIENT. THESE CHANGES ARE THE PROPERTY OF THE CLIENT. THESE CHANGES ARE THE PROPERTY OF THE CLIENT.

BRUSS CABIN
CABLE, WISCONSIN

8/5/2022
SAVED:

Hill Construction LLC
15988 U.S. Highway 63
Hayward, Wisconsin 54843
715-634-6750

SHEET:
5 of 6



REAR ELEVATION
SCALE 1/4" = 1'

RIGHT ELEVATION
SCALE 1/4" = 1'

Bayfield County
Impervious Surface Calculations

RECEIVED

OCT 03 2022

Bayfield Co.
Planning and Zoning Agency

These calculations are **REQUIRED** per WI Admin Code NR 115.05(1)(e) and Section 13-1-32(g) and 13-1-40(h) of the Bayfield County Code of Ordinances. The undersigned hereby makes application for construction, reconstruction, expansion, replacement or relocation of any impervious surface within 300 feet of the ordinary high-water mark and agrees that all activities shall be in accordance with the requirements of the Bayfield County Code of Ordinances and all other applicable ordinances and the laws of the State of Wisconsin.

Pursuant to Chapter 1, Title 13, Section 13-1-106(d) of the Bayfield County Zoning Ordinance(s), Planning and Zoning Department employees assigned to inspect properties shall have access to said properties to make inspections.

Owner / Applicant	
Owner's Name	STEPHEN & JACQUELINE BRUSS
Site Address	XXXX TELEMARK POINT RD
City / State Zip	CABLE, WI 54821
Mailing Address	16020 117TH AVE N
City / State / Zip	MAPLE GROVE, MN 55369
Phone(s)	(612) 290-7415
Cell	
Email Address	stevebruss@outlook.com

Accurate Legal Description involved in <u>this request</u> (specify <u>only</u> the property involved with this application)									
PROJECT LOCATION	Legal Description: (Use Tax Statement)	Tax ID #:	Lot Size	Acreage	Zoning District	Lakes Class			
UNIT 7.01-8.02 WITHIN AREA 2 TELEMARK PT CONDO	¼	¾	Section	Township	Range	Town of			
			13	43	06W	NAMAKAGON			
Gov't Lot	Lot #	CSM #	Doc #	Vol Page	Lot#	Blk #	Subdivision		
6									

Impervious Surface: An area that releases as runoff all or a majority of the precipitation that falls on it. "Impervious surface" excludes frozen soil but includes rooftops, sidewalks, driveways, parking lots and streets unless specifically designed, constructed, and maintained to be pervious. Impervious surface standards shall apply to the construction, reconstruction, expansion, replacement or relocation of any impervious surface that is or will be located within 300 feet of the ordinary high-water mark of any navigable waterway on any riparian lot or parcel. Nonriparian lot or parcel that is located entirely within 300 feet of the ordinary high-water mark of any navigable waterway.

Calculation of Impervious Surface: Percentage of impervious surface shall be calculated by dividing the surface area of the existing and proposed impervious surfaces on the lot or parcel by the total surface area of that lot or parcel and multiplying by 100. If an outlot lies between the ordinary high-water mark and the developable lot or parcel described in subd. 1. and both are in common ownership, the lot or parcel and the outlot shall be considered one lot or parcel for the purposes of calculating the percentage of impervious surfaces.

Impervious Surface Standard: Allow up to 15% impervious surface but not more than 30% impervious surface on the portion of a lot or parcel that is within 300 feet of the ordinary high-water mark. A permit can be issued for development that exceeds 15% impervious surface but not more than 30% impervious surfaces with a mitigation plan that meets the requirements of the Bayfield County Ordinance(s).

Existing Impervious Surfaces: For existing impervious surfaces that were lawfully placed when constructed but that do not comply with the standards in Section(s) 13-1-32(g) and Section 13-1-40(h), the property owner may do any of the following:

- a. Maintenance and repair all impervious surfaces:
- b. Replace existing impervious surfaces with similar surfaces within the existing building footprint.
- c. Relocate or modify existing impervious surfaces with similar or different impervious surfaces, provided that the relocation or modification does not result in an increase in the percentage that existed on the effective date of the county shoreland ordinance and meets the applicable setback requirements in Section 13-1-32.

Impervious Surface(s)

Impervious Surface Item	Dimension(s)	Square Footage
Existing House		
Existing Garage		
Existing Porch / Covered Porch		
Existing Porch #2 / Covered Porch #2		
Existing Deck		
Existing Deck #2		
Existing Sidewalk(s), Patio(s)		
Existing Storage Bldg		
Existing Shed		
Existing Accy: (explain) _____		
Existing Carport		
Existing Boathouse		
Existing Driveway		
Existing Road (Name) _____		
Existing Other (explain) _____		
Existing Other (explain) _____		
Proposed House	40 x 32	1280
Proposed Garage		
Proposed Addition (explain) _____		
Proposed Addition (explain) _____		
Proposed Porch / Covered Porch	13 x 9	117
Proposed Porch #2 / Covered Porch #2		
Proposed Deck #1		
Proposed Deck #2		
Proposed Balcony		
Proposed Sidewalk(s), Patio(s)	25 x 10	250
Proposed Storage Bldg		
Proposed Shed		
Proposed Carport		
Proposed Accy: (explain) _____		
Proposed Boathouse		
Proposed Driveway - APRON	28 x 6	168
Proposed Road (Name) _____		
Proposed Other (explain) DRIVEWAY	20 x 80	1600
Proposed Other (explain) _____		
Total:		3415

a. Total square footage of lot: 35,200

b. Total impervious surface area: 3415

c. Percentage of impervious surface area: $100 \times (b)/a =$ 9.70%

Total square footage of additional impervious surface allowed: @ 15% 5280 @ 30% 10560

Issuance Information (County Use Only)		Date of Inspection:
Inspection Record:		Zoning District () Lakes Classification ()
Condition(s):		Stormwater Management Plan Required: <input type="checkbox"/> Yes <input type="checkbox"/> No
Signature of Inspector:		Date of Approval:



Document Number

**EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM, OF
TELEMARK POINTE CONDOMINIUM,
a Wisconsin Condominium**
Document Name

2021R-589811

DANIEL J. HEFFNER
BAYFIELD COUNTY, WI
REGISTER OF DEEDS
07/19/2021 11:25AM
TF EXEMPT #:
RECORDING FEE: 30.00
PAGES: 8

Telemark Pointe Condominium located in Government Lot Six (6) and the SW1/4 – SE1/4 of Section Thirteen (13), T43N, R6W, in the Town of Namakagon, Bayfield County, Wisconsin

Unit 5.01: 04-034-2-43-06-13-4 00-644-51000
Unit 5.02: 04-034-2-43-06-13-4 00-644-52000
Unit 6.01: 04-034-2-43-06-13-4 00-644-53000
Unit 6.02: 04-034-2-43-06-13-4 00-644-54000

Unit 7.01: 04-034-2-43-06-13-4 00-644-55000
Unit 7.02: 04-034-2-43-06-13-4 00-644-56000
Unit 8.01: 04-034-2-43-06-13-4 00-644-57000
Unit 8.02: 04-034-2-43-06-13-4 00-644-58000

Unit 9.01: 04-034-2-43-06-13-4 00-644-59000
Unit 9.02: 04-034-2-43-06-13-4 00-644-51100
Unit 10.01: 04-034-2-43-06-13-4 00-644-51200
Unit 10.02: 04-034-2-43-06-13-4 00-644-51300

Recording Area

Name and Return Address
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.
220 6th Avenue West
PO Box 677
Ashland, WI 54806

Parcel Identification Number (PIN)

Drafted by:
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.

ATTACHMENT 2
(Consisting of a total of 8 pages)

Document Number

**EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM, OF
TELEMARK POINTE CONDOMINIUM,
a Wisconsin Condominium**
Document Name

RECITALS:

WHEREAS, the original Declaration of Condominium was recorded on May 5, 1989 in the Office of the Bayfield County, Wisconsin, Register of Deeds, as Document No. 380050, under the name Telemark Pointe, a Proprietary Ownership Condominium, and

WHEREAS, Telemark Pointe Unit Owners Association, Inc., is the association for the condominium, and

WHEREAS, a Seventh Amendment to and Restatement of Declaration of Condominium, of Telemark Pointe Condominium was duly recorded on July 13, 2018 as Document No. 2018R-573662 in the Bayfield County, Wisconsin Register of Deeds Office, and

WHEREAS, the Seventh Amendment created a structural, organizational and operational framework which established the following two areas within the overall condominium, which, in nearly all respects, function independently of each other:

- a. Area 1 which consists of the following 8 units: 1.01, 1.02, 2.01, 2.02, 3.01, 3.02, 4.01 and 4.02 which are or may be committed to either time-share ownership or unitary ownership which area is subject to the jurisdiction of the Telemark Pointe Proprietary Owners Association, Inc. ("TPPOA"), a sub-association, within the condominium, and
- b. Area 2 which consists of the following 12 units: 5.01, 5.02, 6.01, 6.02, 7.01, 7.02, 8.01, 8.02, 9.01, 9.02, 10.01 and 10.02 which are all unitary ownership units, which are subject to the jurisdiction of Telemark Pointe Unitary Owners Association ("TPUOA"), a Wisconsin unincorporated non-profit association under Chapter 184 Wis. Stats., which is a sub-association, within the condominium, and

WHEREAS, the Seventh Amendment provides in part that:

- a. Each sub-association may reconfigure, relocate and reallocate the units in the specific portion of the condominium property within its jurisdiction, and
- b. Unitary ownership units may be merged by the owner or owners of the units involved. Any number of units may be merged and jointly located within a single Development Envelope or allocated to a single dwelling, and
- c. A portion of the Declaration dealing exclusively with only one Area of the condominium may be amended by the sub-association having jurisdiction over that Area, and
- d. For purposes of amendment of the declaration, the sub-association having jurisdiction over the area not affected by the amendment shall be deemed to have consented to the amendment if properly adopted, and

Recording Area

Name and Return Address
Attorney Matthew F. Anich
Anich, Wickman & Lindsey, S.C.
220 6th Avenue West
PO Box 677
Ashland, WI 54806

Parcel Identification Number (PIN)

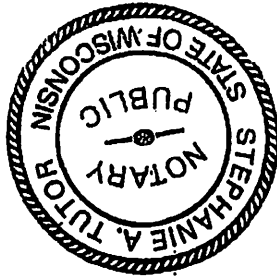
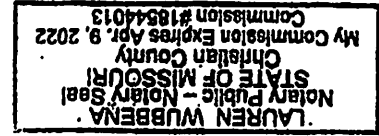
- e. Unitary ownership units in Area 2 may be merged and relocated by the owner of the units involved. Any number of units may be merged and located jointly within a single Development Envelope. Any number of units may be allocated to a single dwelling.

NOW, THEREFORE, the undersigned hereby declare that the aforesaid Seventh Amendment to and Restatement of the Declaration of Condominium, of Telemark Pointe Condominium is hereby amended as follows:

1. Exhibit A III shall no longer apply to the 12 units in Area 2 of the condominium. Exhibit A III shall continue to apply to the 8 units in Area 1 of the condominium and the easement depicted on Exhibit A III shall continue to apply to both areas 1 and 2 of the condominium.
2. Telemark Pointe Unitary Owners Association, as the sub-association with jurisdiction over Area 2 and Palace View, Inc., as owner of all 12 units in Area 2 hereby reconfigure, relocate and reallocate the units in Area 2 of the condominium as follows:
 - a. Units 5.01, 5.02, 6.01 and 6.02 are reconfigured, relocated and reallocated as Development Envelope A at the location within Area 2 of the condominium, which is depicted on the annexed Exhibit 1. Condominium units 5.01, 5.02, 6.01 and 6.02 are situated within Development Envelope A on Exhibit 1.
 - b. Units 7.01, 7.02, 8.01 and 8.02 are reconfigured, relocated and reallocated as Development Envelope B at the location within Area 2 of the condominium, which is depicted on the annexed Exhibit 1. Condominium units 7.01, 7.02, 8.01 and 8.02, are situated within Development Envelope B on Exhibit 1.
 - c. Units 9.01, 9.02, 10.01 and 10.02 are reconfigured, relocated and reallocated as Development Envelope C at the location within Area 2 of the Condominium, which is depicted on the annexed Exhibit 1. Condominium units 9.01, 9.02, 10.01 and 10.02, are situated within Development Envelope C on Exhibit 1.
 - d. The annexed Exhibits 1 and 2 are incorporated herein by reference as a part of this instrument. All language on Exhibits 1 and 2 are a part of this Eighth Amendment.
3. The terms and provisions of this Eighth Amendment:
 - a. Shall only affect the twelve unitary ownership units and the other property of the condominium which is situated in Area 2 of the condominium, which are under the jurisdiction of the Telemark Pointe Unitary Owners Association ("TPUOA").
 - b. Shall not affect or apply to the eight-timeshare ownership or unitary ownership units and the other property of the condominium which is situated in Area 1 of the condominium which is under the jurisdiction of the Telemark Pointe Proprietary Owners Association, Inc. ("TPPOA")

Except as specifically set forth herein, the terms and provisions of the Seventh Amendment to and Restatement of Declaration of Condominium of Telemark Pointe Condominium recorded on July 13, 2018 as Document No. 2018R-573662 are ratified and confirmed.

Telemark Pointe Unit Owners Association, Inc., a Wisconsin Unincorporated Non-profit Association Under Chapter 184 Wis. Stats.



By: Richard B. Short, President

Attest: Matthew F. Anich, Secretary

Dated: 5-25-21

Palace View, Inc., a Missouri Corporation, Sole Owner of Telemark Pointe Condominium Unitary Units 5.01, 5.02, 6.01, 6.02, 7.01, 7.02, 8.01, 8.02, 9.01, 9.02, 10.01 and 10.02

Signature of Notary
Lauren Wubbena
Printed Name of Notary
Notary Public, State of Missouri
My Commission expires: 4-9-22

Signature of Notary
Stephanie A. Tutor
Printed Name of Notary
Notary Public, State of Wisconsin
My Commission Expires: 12/18/22

Personally came before me this 25 day of May, 2021 the above-named Richard B. Short to me known to have executed the foregoing document and acknowledged the same.

Personally came before me this 8th day of July, 2021 the above-named Matthew F. Anich to me known to have executed the foregoing document and acknowledged the same.

Dated: 5-25-21
By: Richard B. Short, President

Dated: July 8, 2021
Attest: Matthew F. Anich
Matthew F. Anich, Secretary

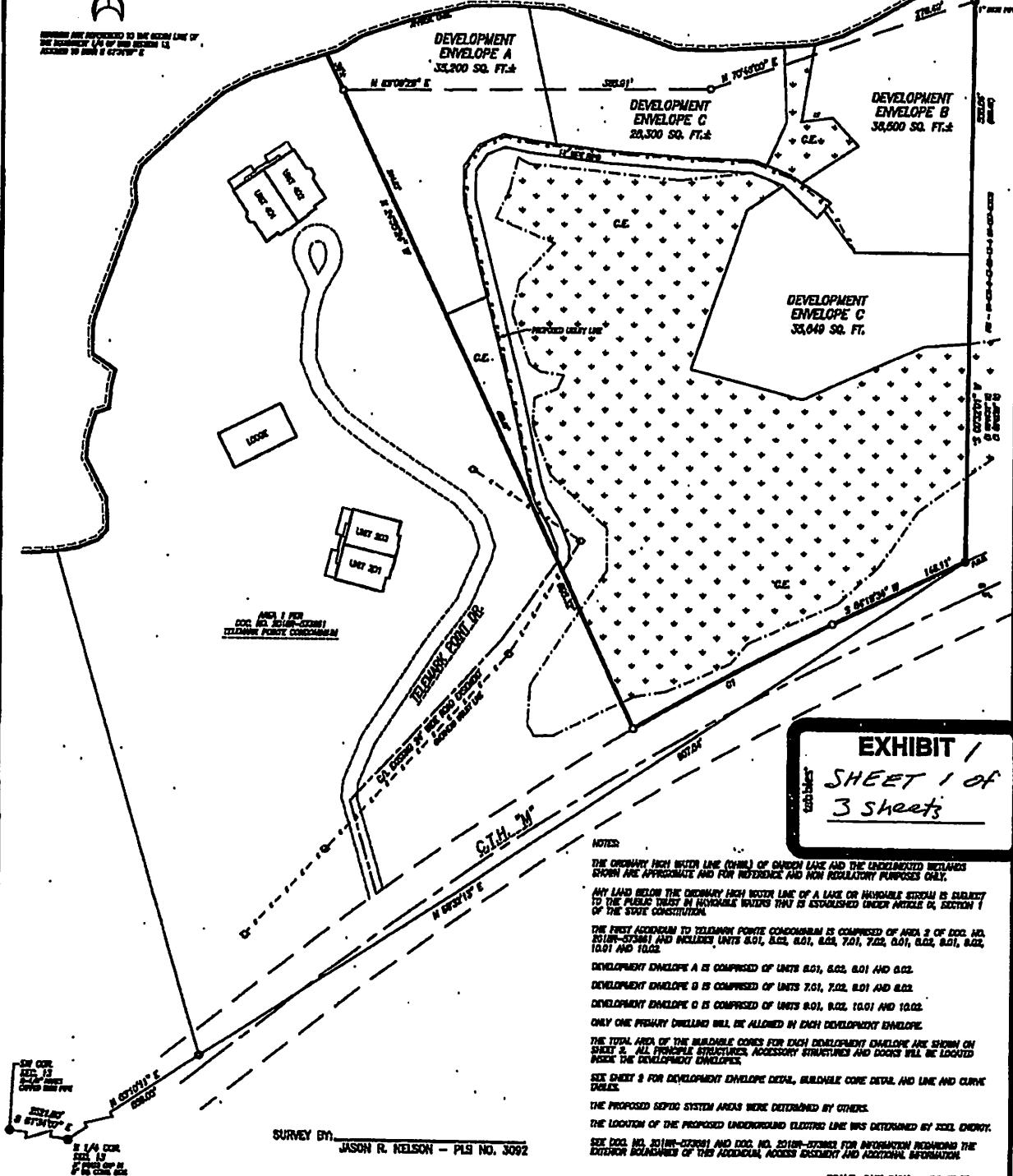
**FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF
SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON,
BAYFIELD COUNTY, WISCONSIN**



REMARKS ARE REFERENCED TO THE ACORN LINE OF
THE SURVEY 1/4 OF THE SECTION 13,
ACCORDING TO THE 1/4 OF THE SECTION 13

**GARDEN LAKE
(LAKE NAMAKAGON)**

**TOTAL AREA
315,300 SQ. FT.±
7.24 AC.±**



**EXHIBIT 1
SHEET 1 OF
3 SHEETS**

NOTES:

THE ORDINARY HIGH WATER LINE (OHWL) OF GARDEN LAKE AND THE UNDEVELOPED WETLANDS SHOWN ARE APPROXIMATE AND FOR REFERENCE AND NON REGULATORY PURPOSES ONLY.

ANY LAND BELOW THE ORDINARY HIGH WATER LINE OF A LAKE OR HANDMADE WETLAND IS SUBJECT TO THE PUBLIC TRUST IN HANDMADE WETLANDS THAT IS ESTABLISHED UNDER ARTICLE IV, SECTION 1 OF THE STATE CONSTITUTION.

THE FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM IS COMPOSED OF AREA 2 OF DCC. NO. 2018W-00081 AND INCLUDES UNITS 8.01, 8.02, 8.03, 7.01, 7.02, 8.01, 8.02, 8.01, 8.02, 10.01 AND 10.02.

DEVELOPMENT ENVELOPE A IS COMPOSED OF UNITS 8.01, 8.02, 8.01 AND 8.02.

DEVELOPMENT ENVELOPE B IS COMPOSED OF UNITS 7.01, 7.02, 8.01 AND 8.02.

DEVELOPMENT ENVELOPE C IS COMPOSED OF UNITS 8.01, 8.02, 10.01 AND 10.02.

ONLY ONE PRIMARY DWELLING WILL BE ALLOWED IN EACH DEVELOPMENT ENVELOPE.

THE TOTAL AREA OF THE BUILDABLE CORNER FOR EACH DEVELOPMENT ENVELOPE ARE SHOWN ON SHEET 2. ALL PERMANENT STRUCTURES, ACCESSORY STRUCTURES AND DOCKS WILL BE LOCATED INSIDE THE DEVELOPMENT ENVELOPES.

SEE SHEET 2 FOR DEVELOPMENT ENVELOPE DETAIL, BUILDABLE CORNER DETAIL AND LINE AND CURVE TABLES.

THE PROPOSED SEWER SYSTEM AREAS WERE DETERMINED BY OTHERS.

THE LOCATION OF THE PROPOSED UNDERGROUND ELECTRIC LINE WAS DETERMINED BY XCEL ENERGY.

SEE DCC. NO. 2018W-00081 AND DCC. NO. 2018W-00081 FOR INFORMATION REGARDING THE EXISTING BOUNDARIES OF THE ADDENDUM, ACCESS EASEMENT AND ADDITIONAL INFORMATION.



LEGEND
● ROAD 1" WIDE PAVE, UNLESS NOTED
○ SET POINT 1" WIDE PAVE
() RECORDED DATA
+ OFFICE UNDEVELOPED WETLANDS

● BUILDABLE CORNER DETAIL AREA
C.E. CORNER ELEVATION
○ UTILITY POLE

**HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.**
JOB NO. 1821
SCALE 1" = 80'
SHEET 1 OF 3 SHEETS
FIELD WORK COMPLETED 3/23/21

**HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.**
FIELD SURVEY/DESIGN
ADAMS, TELEMARKE POINTE

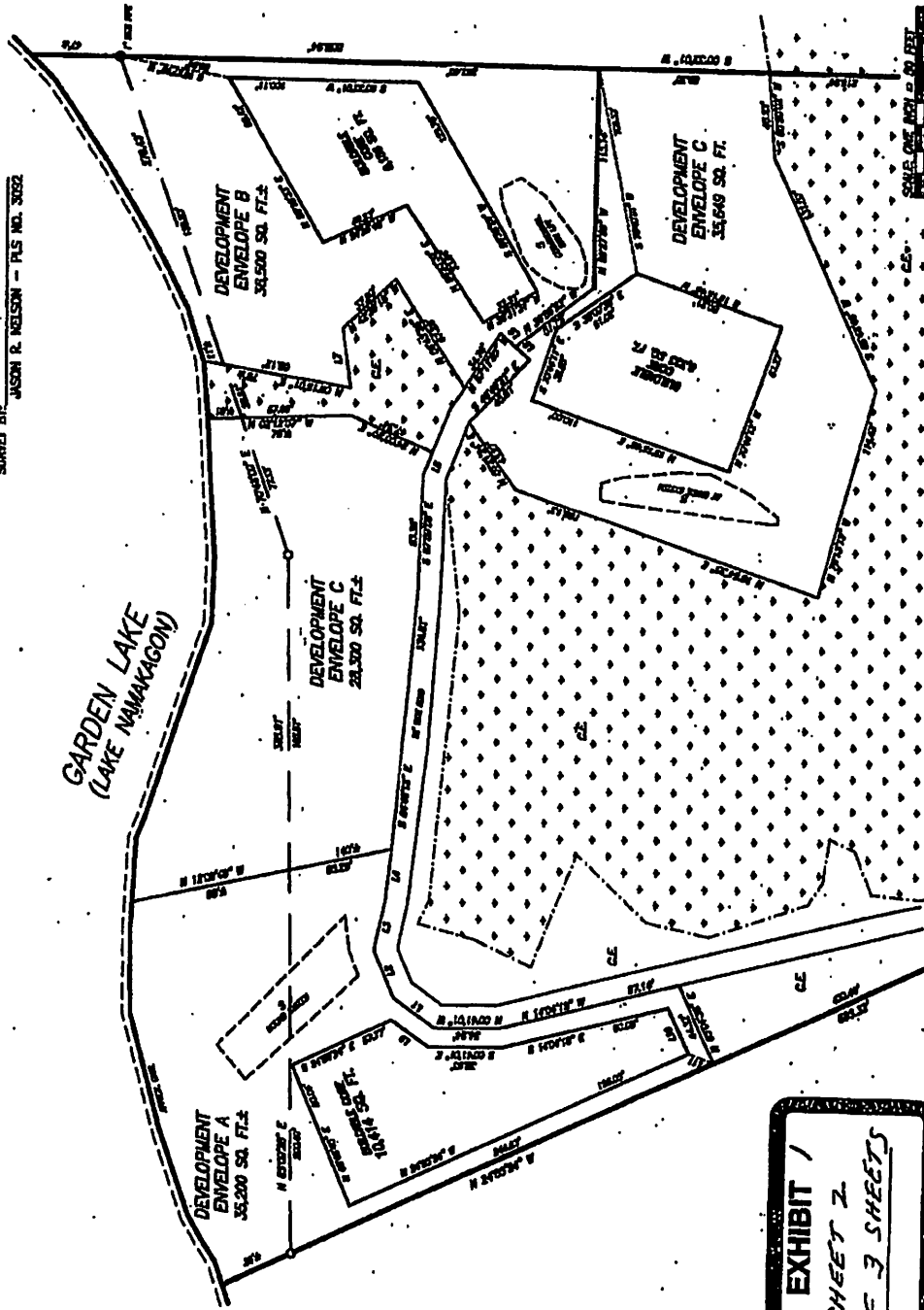
NO. 1821-001
NO. 1821-001
NO. 1821-001
NO. 1821-001

**FIRST ADDENDUM TO TELEMARKE POINTE CONDOMINIUM
 LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 13, T. 43 N.,
 R. 6 W., IN THE TOWN OF NAMAKAGON, BAYFIELD COUNTY, WISCONSIN**



SURVEY BY: JASON R. NELSON - PLS NO. 3032

GARDEN LAKE
(LAKE NAMAKAGON)



**EXHIBIT 1
 SHEET 2
 OF 3 SHEETS**

LINE TABLE

LINE	TO	FROM	BEARING	DISTANCE	AREA
1	1	2	N 89° 15' 00" E	100.00	100.00
2	2	3	S 89° 15' 00" E	100.00	100.00
3	3	4	N 89° 15' 00" E	100.00	100.00
4	4	5	S 89° 15' 00" E	100.00	100.00
5	5	6	N 89° 15' 00" E	100.00	100.00
6	6	7	S 89° 15' 00" E	100.00	100.00
7	7	8	N 89° 15' 00" E	100.00	100.00
8	8	9	S 89° 15' 00" E	100.00	100.00
9	9	10	N 89° 15' 00" E	100.00	100.00
10	10	11	S 89° 15' 00" E	100.00	100.00
11	11	12	N 89° 15' 00" E	100.00	100.00
12	12	13	S 89° 15' 00" E	100.00	100.00
13	13	14	N 89° 15' 00" E	100.00	100.00
14	14	15	S 89° 15' 00" E	100.00	100.00
15	15	16	N 89° 15' 00" E	100.00	100.00
16	16	17	S 89° 15' 00" E	100.00	100.00
17	17	18	N 89° 15' 00" E	100.00	100.00
18	18	19	S 89° 15' 00" E	100.00	100.00
19	19	20	N 89° 15' 00" E	100.00	100.00
20	20	21	S 89° 15' 00" E	100.00	100.00
21	21	22	N 89° 15' 00" E	100.00	100.00
22	22	23	S 89° 15' 00" E	100.00	100.00
23	23	24	N 89° 15' 00" E	100.00	100.00
24	24	25	S 89° 15' 00" E	100.00	100.00
25	25	26	N 89° 15' 00" E	100.00	100.00
26	26	27	S 89° 15' 00" E	100.00	100.00
27	27	28	N 89° 15' 00" E	100.00	100.00
28	28	29	S 89° 15' 00" E	100.00	100.00
29	29	30	N 89° 15' 00" E	100.00	100.00
30	30	31	S 89° 15' 00" E	100.00	100.00
31	31	32	N 89° 15' 00" E	100.00	100.00
32	32	33	S 89° 15' 00" E	100.00	100.00
33	33	34	N 89° 15' 00" E	100.00	100.00
34	34	35	S 89° 15' 00" E	100.00	100.00
35	35	36	N 89° 15' 00" E	100.00	100.00
36	36	37	S 89° 15' 00" E	100.00	100.00
37	37	38	N 89° 15' 00" E	100.00	100.00
38	38	39	S 89° 15' 00" E	100.00	100.00
39	39	40	N 89° 15' 00" E	100.00	100.00
40	40	41	S 89° 15' 00" E	100.00	100.00
41	41	42	N 89° 15' 00" E	100.00	100.00
42	42	43	S 89° 15' 00" E	100.00	100.00
43	43	44	N 89° 15' 00" E	100.00	100.00
44	44	45	S 89° 15' 00" E	100.00	100.00
45	45	46	N 89° 15' 00" E	100.00	100.00
46	46	47	S 89° 15' 00" E	100.00	100.00
47	47	48	N 89° 15' 00" E	100.00	100.00
48	48	49	S 89° 15' 00" E	100.00	100.00
49	49	50	N 89° 15' 00" E	100.00	100.00
50	50	51	S 89° 15' 00" E	100.00	100.00
51	51	52	N 89° 15' 00" E	100.00	100.00
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53	53	54	N 89° 15' 00" E	100.00	100.00
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56	56	57	S 89° 15' 00" E	100.00	100.00
57	57	58	N 89° 15' 00" E	100.00	100.00
58	58	59	S 89° 15' 00" E	100.00	100.00
59	59	60	N 89° 15' 00" E	100.00	100.00
60	60	61	S 89° 15' 00" E	100.00	100.00
61	61	62	N 89° 15' 00" E	100.00	100.00
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63	63	64	N 89° 15' 00" E	100.00	100.00
64	64	65	S 89° 15' 00" E	100.00	100.00
65	65	66	N 89° 15' 00" E	100.00	100.00
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69	69	70	N 89° 15' 00" E	100.00	100.00
70	70	71	S 89° 15' 00" E	100.00	100.00
71	71	72	N 89° 15' 00" E	100.00	100.00
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78	78	79	S 89° 15' 00" E	100.00	100.00
79	79	80	N 89° 15' 00" E	100.00	100.00
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83	83	84	N 89° 15' 00" E	100.00	100.00
84	84	85	S 89° 15' 00" E	100.00	100.00
85	85	86	N 89° 15' 00" E	100.00	100.00
86	86	87	S 89° 15' 00" E	100.00	100.00
87	87	88	N 89° 15' 00" E	100.00	100.00
88	88	89	S 89° 15' 00" E	100.00	100.00
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90	90	91	S 89° 15' 00" E	100.00	100.00
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93	93	94	N 89° 15' 00" E	100.00	100.00
94	94	95	S 89° 15' 00" E	100.00	100.00
95	95	96	N 89° 15' 00" E	100.00	100.00
96	96	97	S 89° 15' 00" E	100.00	100.00
97	97	98	N 89° 15' 00" E	100.00	100.00
98	98	99	S 89° 15' 00" E	100.00	100.00
99	99	100	N 89° 15' 00" E	100.00	100.00

AREA TABLE

AREA	AREA	AREA	AREA	AREA	AREA
1	1	1	1	1	1
2	2	2	2	2	2
3	3	3	3	3	3
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96	96	96	96	96	96
97	97	97	97	97	97
98	98	98	98	98	98
99	99	99	99	99	99
100	100	100	100	100	100

**HEART OF THE NORTH
 SURVEYING OF HAYWARD, INC.**

DATE: 10/1/2018
 BY: JASON R. NELSON
 CHECKED: JASON R. NELSON
 SCALE: 1" = 40' (SEE NOTE)
 SHEET 2 OF 3 SHEETS

LEGEND:
 (1) EXISTING LOT
 (2) EXISTING LOT
 (3) EXISTING LOT
 (4) EXISTING LOT
 (5) EXISTING LOT
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 (30) EXISTING LOT
 (31) EXISTING LOT
 (32) EXISTING LOT
 (33) EXISTING LOT

**FIRST ADDENDUM TO TELEMARCK POINTE CONDOMINIUM
LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF
SECTION 13, T. 43 N., R. 6 W., IN THE TOWN OF NAMAKAGON,
BAYFIELD COUNTY, WISCONSIN**

SURVEYOR'S CERTIFICATE

I, JASON R. NELSON, PROFESSIONAL LAND SURVEYOR IN THE STATE OF WISCONSIN, HEREBY CERTIFY

THAT ON THE ORDER OF PALACE VIEW INC., I HAVE SURVEYED AND MAPPED THE FIRST ADDENDUM TO TELEHAYN POINTE CONDOMINIUM, LOCATED IN GOVERNMENT LOT 6 AND THE SW 1/4 - SE 1/4 OF SECTION 18, T. 43 N., R. 9 W., IN THE TOWN OF MINNEAPOLIS, DAVENPORT COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

TO LOCATE THE POINT OF BEGINNING, COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 13 AND RUN N 63°10'11" E, 655.05 FEET; THENCE N 09°58'13" E, 807.84 FEET TO THE NORTHERLY POINT OF DIV. LINE OF C.T.H. 44 AND THE POINT OF BEGINNING.

THENCE FROM SAID POINT OF BEGINNING BY METES AND BOUNDS:

ON S42 NORTHERLY RIGHT OF RY LINE, S 64°10'34" W, 146.11 FEET; THENCE SOUTHWESTERLY, 282.51 FEET ON THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 262.50 FEET, A CENTRAL ANGLE OF 02°02'19"; AND A CHORD WHICH BEARS S 61°50'37" W AND MEASURES 282.51 FEET; THENCE LEAVING SAID NORTHERLY RIGHT OF RY LINE, N 85°03'24" W, 60.51 FEET TO A MONUMENT CORNER WHICH IS S 24°03'24" E, 30 FEET; MORE OR LESS, FROM THE ORDINARY HIGH WATER LINE (CHNL) OF GREEN LANE; THENCE ON A MONUMENT LINE HAVING SAID CHNL, N 87°00'25" E, 352.51 FEET; THENCE N 70°40'27" E, 375.45 FEET TO A MONUMENT CORNER WHICH IS S 03°02'01" W, 47 FEET; MORE OR LESS, FROM SAID CHNL; THENCE LEAVING SAID MONUMENT LINE, S 03°02'01" W, 528.94 FEET TO THE POINT OF BEGINNING.

Said Parcel contains 310,300 square feet, more or less, which is 7.14 acres, more or less, including that land lying between the meander line and the shore of Garden Lake and the extension of the lot lines to said shore.

SUBJECT TO ALL EASEMENTS, RESTRICTIONS, RESERVATIONS OR RIGHTS OF WAY OF RECORD OR USE, IF ANY.

THAT THIS PLAN IS A TRUE REPRESENTATION OF THE FIRST ADDENDUM TO TELDARK PORTE CONDOMINIUM AND THE IDENTIFICATION OF EACH UNIT AND COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAN;

THAT I HAVE FULLY COMPLIED WITH CHAPTER 703.00 OF THE WISCONSIN STATUTES, CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE BAYFIELD COUNTY SUBDIVISION CONTROL ORDINANCES IN MAKING SAID SURVEY AND PLAT AND

THIS SAID SURVEY AND PLAN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JACOB R. NELSON PLS MR. JONES

BENTLEY COUNTY PLANNING AND ZONING AFFAIRS

THIS CONDOMINIUM PLAN IS HEREBY APPROVED BY THE BOYFELD COUNTY PLANNING AND ZONING DEPARTMENT.

ROBERT SCHERMAN, _____ DATED THIS _____ DAY OF _____, 2021
PLANNING AND ZONING DIRECTOR

EXHIBIT 7

SHEET 3

OF 3 SHEETS

CERTIFICATE

ORDER FROM THE

JOHN MULLER AGENT

FILE NUMBER: 100-334347-15

SHEET 1 OF 3 SHEETS

**HEART OF THE NORTH
SURVEYING OF HAYWARD, INC.**

FOR THE CITY OF
SAN FRANCISCO
JAMES M. LEE
CITY CLERK
SAN FRANCISCO, CALIFORNIA
415-376-2200

**EXHIBIT 2 TO EIGHTH AMENDMENT TO
DECLARATION OF CONDOMINIUM OF TELEMARKE POINTE CONDOMINIUM,
a Wisconsin Condominium**

1. Each of Development Envelopes A, B and C:

- a) Consists of 4 condominium units, all of which shall be owned by the same unit owner;
- b) Contains a buildable core within which the unit owner may place, construct, or erect one single-family residence along with a garage for the single-family residence situated in that Development Envelope;
- c) Contains a designated location within which the unit owner may install a code-compliant waste disposal system for the single-family residence situated within that Development Envelope;
- d) Benefits from a limited common element which is reserved for the exclusive use of the unit owner who owns the units in that Development Envelope;

2. As to each of Development Envelopes A, B and C:

- a) No residential structure or garage may be placed, constructed, or erected except within the boundaries of the buildable core in that individual Development Envelope;
- b) No waste disposal system may be installed except within the boundaries of the designated location for the installation of such a system within that Development Envelope.
- c) The locations of the buildable core, waste disposal system and limited common elements of each Development Envelope are shown on Exhibit 1.
- d) A well may be installed within the Development Envelope.

3. None of the twelve units situated in Area 2 of the Condominium is subject to a mortgage or an equivalent security interest.

4. The required consents and approvals for this Eighth Amendment To Declaration Of Condominium were received.


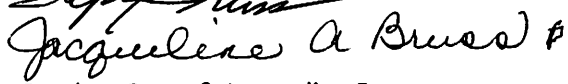
9/26/22

Attn: Bayfield County Zoning

To Whom It May Concern,

We, Stephen & Jacqueline Bruss, hereby give permission to Hill Construction, LLC, its employees, and subcontractors to act on our behalf as an agent for the permitting process and construction of our home in the Telemark Pointe Condominium, Development Envelope C (tax ID's 38516 – 38523).

Thank you,



Stephen Bruss & Jacqueline Bruss

Town, City, Village, State or Federal
Permits May Also Be Required
SHORELAND / WETLANDS / FLOODPLAIN
LAND USE – **X**
SANITARY – **22-160S**
SIGN –
SPECIAL –
CONDITIONAL –
BOA –

BAYFIELD COUNTY PERMIT

**WEATHERIZE AND POST THIS PERMIT
ON THE PREMISES DURING CONSTRUCTION**

No. **22-0302** Tax ID: **38516** Issued To: **Stephen & Jacqueline Bruss**

SW SE

Location: **NW** ¼ of **NE** ¼ Section **13** Township **43** N. Range **6** W. Town of **Namakagon**

Unit 7.01 within Area 2 Telemark Point Condominium Par in

Gov't Lot **6** Lot Block Subdivision CSM#

Described in Doc **2021R-590746**

Residential Structure in R-RB Zoning District

For: **[2-Story],** Residence on Foundation (40' x 32'); Deck (38' x 5'); Screen Porch (9' x 13'); Porch #2 (10' x 19'); Attached Garage (28' x 28') = 2, 561 sq. ft.] at a Height of 35
(Disclaimer): Any future expansions or development would require additional permitting.

Condition(s): **SEE BACK OF THIS CARD**

You are responsible for complying with state and federal laws concerning construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the department of natural resources wetlands identification web page or contact a department of natural resources service center (715) 685-2900.

NOTE: This permit expires one year from date of issuance if the authorized construction work or land use has not begun.

Changes in plans or specifications shall not be made without obtaining approval. This permit may be void or revoked if any of the application information is found to have been misrepresented, erroneous, or incomplete.

This permit may be void or revoked if any performance conditions are not completed or if any prohibitory conditions are violated.

Mckenzie Slack, AZA

Authorized Issuing Official

October 28, 2022

Date

CONDITIONS:

Meet and maintain setbacks including eaves & overhangs. To be constructed per plan. A Uniform Dwelling Code (UDC) Permit from the locally contracted UDC Inspection Agency must be obtained prior to the start of construction. Town/State/DNR permits may be required.

Upon completion, submit /record amendment to Condo plat showing location of Units.